



PLANNING & ZONING COMMISSION

Thursday, August 6, 2020 - 5:00 pm

For more information, contact Brenda Cueller at 636-625-7936 or bcueller@lakesaintlouis.com.

This meeting will be conducted by video and teleconference only, via Zoom. The public may participate using the following information:

To join by computer or mobile application: <https://www.zoom.us/> or <https://us02web.zoom.us/j/82475453827?pwd=NkRWa292VWZGZS9yV3RidU5EclF2dz09> (video and/or audio):

To join by telephone (audio only): +1 312 626 6799

Meeting ID: 824 7545 3827

Password: 79408069

AGENDA

I. CALL TO ORDER

II. ROLL CALL

	Present	Absent
Pearson Buell, Chairman	_____	_____
Tom Mispagel, Vice Chairman	_____	_____
Rhonda Ferrett	_____	_____
Glen Heiman	_____	_____
Tom O'Connor	_____	_____
Dominique Stoddard	_____	_____
Mayor Kathy Schweikert	_____	_____
Alderman John Pellerito	_____	_____

Also present: Louis Clayton, AICP, Director of Community Development
Brenda Cueller, Recording Secretary

III. APPROVAL OF AGENDA

IV. APPROVAL OF MEETING MINUTES

Regular meeting of June 4, 2020

V. PUBLIC COMMENT

VI. OTHER BUSINESS

1. Freymuth Road – Lake Pointe

Extension of Validity: Consideration of a request by Lisa G. Bulczak, Lutheran Senior Services, for a 12-month extension of the site plan approval associated with the construction of a senior living facility to be known as Lake Pointe.

VII. PUBLIC HEARING - NEW BUSINESS

1. 118 Hannahs Mill Drive and 122 Hannahs Mill Drive – Mill Creek Subdivision

Preliminary Subdivision Plat and Final Subdivision Plat: Consideration of a request by McBride 76B LLC, applicant/owner, to increase the size of Lot 19 (118 Hannahs Mill Drive) from 10,621 square feet to 12,197 square feet and to decrease the size of Lot 20 (122 Hannahs Mill Drive) from 14,349 square feet to 12,773 square feet by adjusting the location of the shared side property line.

2. 4009 Hwy 40/61, 100 and 110 Freymuth Lane – Windsor Park Subdivision

Final Subdivision Plat: Consideration of a request by Windsor Park, LLC, applicant/owner, for approval of Final Subdivision Plats for Windsor Park Subdivision Plat 1 consisting of 26 single-family residential lots and Windsor Park Subdivision Plat 2 consisting of 35 single-family residential lots.

3. Ronald Reagan Drive – Dierbergs

Zoning Amendment and Preliminary Development Plan: Consideration of a request by Dierbergs Lake Saint Louis, LLC, applicant/owner, for construction of an 88,858 square-foot multi-tenant commercial development including a 70,848 grocery store known as Dierbergs Markets; and, amendments to the Detail to Development Standards for the Shoppes at Hawk Ridge as it relates to building setbacks and signage.

4. Freymuth Lane – Hawk Ridge Senior Living

Site Plan Review: Consideration of a request by LSL Land Company, LLC, applicant on behalf of Balam Properties, LLC, owner, for construction of an adult retirement community consisting of 120 dwelling units in five buildings and related site improvements.

IX. COMMISSION AND STAFF COMMENTS

X. ADJOURNMENT

**CITY OF LAKE SAINT LOUIS
PLANNING AND ZONING COMMISSION
REGULAR MEETING
JUNE 4, 2020**

The City of Lake Saint Louis Planning and Zoning Commission met on Thursday, June 4, 2020, 5:00 p.m. at Lake Saint Louis Civic Center, Lake Saint Louis, Missouri.

ROLL CALL:

Chairman Pearson Buell called the meeting to order. Present: Commissioners William Fridley, Glen Heiman, Tom Mispagel, Dominique Stoddard, Alderman John Pellerito and Mayor Kathy Schweikert. Absent: Commissioners Rhonda Ferrett and Tom O'Connor. Also present: Louis Clayton, Director of Community Development and Brenda Cueller, acting as recording secretary.

PUBLIC COMMENT:

There were no comments made, the meeting continued.

APPROVAL OF AGENDA:

MOTION TO APPROVE AGENDA:

Vice Chairman Mispagel made a motion to approve the June 4, 2020 regular meeting agenda. The motion was seconded by Alderman Pellerito and the motion carries.

MOTION TO APPROVE THE JUNE 4, 2020 REGULAR MEETING AGENDA IS HEREBY APPROVED, AS NOTED ABOVE.

APPROVAL OF MINUTES: February 6, 2020

MOTION TO APPROVE MINUTES:

Vice Chairman Mispagel made a motion to waive the reading of the minutes from the February 6, 2020 Planning and Zoning Commission regular meeting and approve as submitted. The motion was seconded by Mayor Schweikert and the motion carries.

THE MINUTES FROM THE FEBRUARY 6, 2020 PLANNING AND ZONING

COMMISSION REGULAR MEETING ARE HEREBY APPROVED, AS NOTED ABOVE.

PUBLIC COMMENT:

There were no comments, the meeting continued.

PUBLIC HEARING – TABLED BUSINESS:

There was no tabled business, the meeting continued.

PUBLIC HEARING – NEW BUSINESS:

1. 301 Parkway Industrial Drive – Lamb Construction Condominium Plat

Preliminary Subdivision Plat and Final Subdivision Plat: Consideration of a request by David Maxwell, Premier Design Group, applicant on behalf of Parkway Industrial Properties, LLC, owner, to convert an existing 11,948-square-foot commercial building into two condominium units.

Chairman Buell opened the meeting to a public hearing as duly advertised in a legal publication on the above-noted topic.

Louis Clayton, Director of Community Development, stated the subject property contains an 11,948-square-foot commercial building constructed in 2018. The subject property and adjacent properties are zoned “LI” Light Industrial. The applicant is proposing to convert the existing building into two condominium units. Mr. Clayton noted the Municipal Code does not have specific requirements or procedures for a condominium plat but noted what was stated in Section 415.040 paragraph B regarding land being subdivided within City corporate limits. He noted that staff was of the opinion that the proposed condominium plat complies with the applicable requirements of the Municipal Code. Mr. Clayton stated before the plat is recorded, trust indentures need to be submitted to staff to be reviewed and approved by staff and the City Attorney. He noted staff’s recommendation is to recommend approval of the Preliminary Subdivision Plat and Final Subdivision Plat as submitted.

Dana Jensen asked what the property was currently zoned and if the zoning would change when it becomes condominiums.

Public Hearing closed.

MOTION TO RECOMMEND APPROVAL:

Vice Chairman Mispagel made a motion to recommend approval of the Preliminary Subdivision Plat and Final Subdivision Plat to the Board of Aldermen as submitted. The motion was seconded by Alderman Pellerito and the motion passes.

MOTION TO RECOMMEND APPROVAL OF THE PRELIMINARY SUBDIVISION PLAT AND FINAL SUBDIVISION PLAT TO THE BOARD OF ALDERMEN AS SUBMITTED IS HEREBY APPROVED, AS NOTED ABOVE.

2. 1744 Prospect Road – Purpose Wrecker

Zoning Amendment, Preliminary Subdivision Plat, Final Subdivision Plat, Special Use Permit, and Site Plan Review: Consideration of a request by Purpose Investments, applicant/owner, for the zoning, subdivision, use and development of the subject property in accordance with an approved pre-annexation agreement.

- Proposed Lot 1 measures 8.135 acres. The proposed zoning is “LI” Light Industrial. A new material and equipment storage yard is proposed.
- Proposed Lot 2 measures 13.302 acres. The proposed zoning is “SR-1” Single-Family Residential. No development is proposed.
- Proposed Lot 3 measures 7.101 acres. The proposed zoning is “BP” Business Park. No development is proposed.

Chairman Buell opened the meeting to a public hearing as duly advertised in a legal publication on the above noted topic.

Brad Goss, with SmithAmundsen, represented the applicant, and stated Andrew Malpocker was present and could answer questions. Mr. Goss said the property was recently annexed with a pre-annexation agreement.

CITY OF LAKE SAINT LOUIS
PLANNING AND ZONING COMMISSION
REGULAR MEETING
JUNE 4, 2020
(JOURNAL & MINUTES)

Purpose Wrecker was formed in 1981 as a distributor of tow trucks and equipment with sales throughout the United States. There is a secondary facility in Wentzville, but the primary facility and headquarters is in Lake Saint Louis. The business' operating hours were stated and an overview of the site was shown. It's noted that this property was purchased a few years ago to expand the site.

Mr. Goss discussed the pre-annexation agreement which specifies the property to be zoned, subdivided, and developed. Proposed Lot 1 (8.135 acres) will be zoned "LI" Light Industrial. The use on this property is for parking and storage of vehicles and materials used in the existing business. Proposed Lot 2 (13.302 acres) will be zoned "SR-1" Single-Family Residential which currently has an existing home and will remain as is and one more home will be allowed on the parcel. There are no plans for an additional home at this time. Proposed Lot 3 (7.101 acres) will be zoned "BP" Business Park. This site has frontage road adjacent to it. There are no plans at this time. Mr. Goss stated trees will be maintained along the western and southern property lines of Lot 1. He discussed the Site Plan and landscaping.

Phil Martin, 1440 Prospect Lakes Drive, asked where the chain link fence would be placed.

The Commission discussed lighting and water runoff from the site.

Louis Clayton, Director of Community Development, stated Brad Goss did a good overall summary of the site. Mr. Clayton noted that the staff report stated no exterior lighting was proposed. If the Commission has concerns, request for a photometric plan can be requested. Staff recommends approval of the requested actions with the one condition, requirement for 28 new trees.

Public Hearing closed.

MOTION TO RECOMMEND APPROVAL:

Vice Chairman Mispagel made a motion to recommend approval of the Zoning Amendment, Preliminary Subdivision Plat and Final Subdivision

Plat to the Board of Aldermen as submitted; and, to recommend approval of the Special Use Permit and Site Plan Review with the condition listed in the staff report and a photometric plan to be submitted and approved by staff. The motion was seconded by Commissioner Heiman and the motion passes.

MOTION TO RECOMMEND APPROVAL OF THE REQUESTED Zoning AMENDMENT, PRELIMINARY SUBDIVISION PLAT AND FINAL SUBDIVISION PLAT TO THE BOARD OF ALDERMEN AS SUBMITTED; AND, TO RECOMMEND APPROVAL OF THE SPECIAL USE PERMIT AND SITE PLAN REVIEW WITH THE CONDITION LISTED IN THE STAFF REPORT AND A PHOTOMETRIC PLAN TO BE SUBMITTED AND APPROVED BY STAFF IS HEREBY APPROVED, AS NOTED ABOVE.

OTHER BUSINESS:

COMMISSION DISCUSSION & COMMENTS FROM STAFF:

1. Mr. Clayton stated no submittals were received for the July meeting. He noted there would be a joint Planning and Zoning Commission and Board of Aldermen meeting in July to review the Municipal Code rewrite and update. He would like to present it to gather feedback. A save the date will be sent.

ADJOURNMENT:

There was no further business to come before the Planning and Zoning Commission, the meeting was, on motion duly made, seconded and unanimously voted on, adjourned at 5:37 p.m.

Brenda Cueller
Serving as recording secretary of the meeting



LUTHERAN SENIOR SERVICES

July 15, 2020

Paul Markworth
City Administrator
City of Lake Saint Louis
200 Civic Center Drive
Lake Saint Louis, MO 63367

Re: Extension of LSS at Lake Pointe Master Plan

Dear Mr. Markworth,

Lutheran Senior Services (LSS) continues to work on the development of our new continuing care retirement community, Lake Pointe. LSS continues to plan for the start of this project but we will be unable to begin within the required timeframe of the Master Plan approval. Our project at Mason Pointe was anticipated to be complete by summer 2020. The Covid-19 crisis in has put a minor delay on the completion of construction until later in the year.

As we have discussed, along with the delay in the Mason Pointe construction, the pandemic put a delay on our review process of the changing needs in the market for Lake St. Louis and the unit mix and density for this project. We anticipate this updated plan to have minor changes to the current approved building footprints or heights and potentially decrease the current planned density. We do not anticipate any changes to the current plan roadway or access points. Unfortunately, this updated plan will not be ready by August of 2020 to submit as part of our extension request. We do plan on having this ready by August of 2021.

At this time, we are asking for an extension of the current Master Plan. I look forward to working you and the city through the development of this project.

We appreciate your consideration of this request. Please let us know if you need further information.

Sincerely,

Lisa G. Bulczak
Director of Physical Assets and Capital Projects



PLANNING & ZONING COMMISSION

STAFF REPORT

MEETING DATE	August 6, 2020
PROJECT LOCATION	
PROPERTY OWNER/APPLICANT	Lisa G. Bulczak, Lutheran Senior Services
LOT SIZE	37.29 acres
ZONING	"BP" Business Park
APPLICATION TYPE	Extension of Validity
REQUEST	A 12-month extension of the Site Plan approval associated with the construction of a senior living community.
STAFF	Louis Clayton, AICP, Director of Community Development

BACKGROUND & REQUEST

On September 3, 2013, the Board of Aldermen passed Ordinance 3200 approving a rezoning of the subject property from “NU” Non-Urban to “BP” Business Park, and a site plan for a senior-living community consisting of 176 independent living apartment units; an 80-bed health center for long term care, assisted living, memory care, and rehab; and a 38,300-square-foot “Town Center” with offices, dining venues, and meeting space. A future phase would add an additional 89 independent living units and another 80-bed health center.

As specified in Section 405.320.C of the Municipal Code, no Site Plan approval shall be valid for a period longer than 24 months from the adoption date of the ordinance approving the Site Plan. The Planning and Zoning Commission may grant one 12-month extension. Upon recommendation of the Planning and Zoning Commission, the Board of Aldermen may grant additional 12-month extensions indefinitely. The following chart summarizes the project’s approval and extension dates.

Approval Date	Approval Type	Expiration Date	Ordinance
September 3, 2013	Zoning Amendment and Site Plan Review	September 3, 2015	3200
August 2, 2015	First 12-month extension	September 3, 2016	NA
September 19, 2016	Second 12-month extension	September 3, 2017	3584
August 23, 2017	Third 12-month extension	September 3, 2018	3732
September 17, 2018	Fourth 12-month extension	September 3, 2019	3911
August 19, 2019	Fifth 12-month extension	September 3, 2020	4025

On July 15, 2020, the applicant submitted a request for a 12-month extension of validity until September 3, 2021. According to the applicant, no changes are proposed to the approved site plan and the extension request is related to their marketing and financing efforts.

STAFF RECOMMENDATION

To **recommend approval** to the Board of Aldermen a 12-month extension of the Site Plan period of validity, to expire on September 3, 2021.

MOTION

Staff recommends the following motion which can be read verbatim or modified as desired.

*“I move to **recommend approval** to the Board of Aldermen a 12-month extension of the Site Plan period of validity, to expire on September 3, 2021.”*



PLANNING AND ZONING APPLICATION

APPLICATION SUBMITTAL REQUIREMENTS

The following shall be submitted at least 35 days before the scheduled meeting date of the Planning and Zoning Commission. The meetings are held the first Thursday of each month. Submittals lacking any one of the submittal requirements will be considered incomplete and will not be accepted.

Submittal Requirements	Format	Details
Application	PDF ^[1]	Completed applications are required 35 days in advance of the meeting date. The meetings are held the 1st Thursday of each month.
Plans	PDF ^[1]	
Certified list of adjacent property owners ^[3]	PDF ^[1]	List may be obtained from the St. Charles County Assessor's Office and shall include a list of property owner names and addresses within 300 feet (residential applications) or 1,000 feet (nonresidential applications) of the subject property.
Mailing Labels ^[3]	Hard Copy	The mailing labels should include all property owners on the certified list. List shall be placed on letter-size mailing labels and submitted with original certified list.
Application Fee ^[3]	Check or Online ^[2]	Refer to fee schedule on page 3.
Mailing Fee ^[3]	Check or Online ^[2]	The fee is \$5 plus \$0.62 per letter.
Advertising Fee ^[3]	Check or Online ^[2]	The fee is \$400. Once the advertisements have been placed, the applicant will be notified regarding any balance due or refund owed. There will be no refund of overpayments that are less than \$3.00.

Notes

[1] Email PDFs to bcueller@lakesaintlouis.com.

[2] Pay online at with [Official Payments](#). Email confirmation to bcueller@lakesaintlouis.com.

[3] Not required for conceptual review.



PLANNING AND ZONING APPLICATION

Updated June 25, 2020

Application is hereby made to the Planning and Zoning Commission of the City of Lake Saint Louis to approve the following request as described below.

Applicant

Name	
Address	
Email	
Phone Number	
Interest in Property	

Property Owner

Name	
Address	
Email	
Phone Number	
Name, address, and title of all officers, partners, or control persons who have any interest in the application	

Property Information

Property Address or General Location	
Legal Description	
Size	
Zoning	
Deed Restrictions. Attach a copy if applicable.	



PLANNING AND ZONING APPLICATION

Updated June 25, 2020

Requested Action

<i>Application Type</i>	<i>Fee</i>	
Subdivisions		
Preliminary Subdivision Plat - Resubdivision	\$200	
Preliminary Subdivision Plat - Residential	\$250.00 + \$25.00 per lot	
Preliminary Subdivision Plat - Nonresidential	\$75.00 per sheet + \$10.00 per acre	
Final Subdivision Plat	\$250.00 + \$25.00/lot	
Development Plans		
Preliminary Development Plan - Residential	\$250.00 + \$25.00 per lot	
Preliminary Development Plan - Nonresidential	\$75.00 per sheet + \$10.00 per acre	
Other		
Site Plan Review	\$100	
Special Use Permit	\$100	
Zoning Amendment	\$200	
Conceptual Review	No Fee	

Description of Proposed Project

I, _____, hereby certify that the information given above is true and accurate and that I have reviewed the applicable land development regulations.

Name of Owner/Agent

Signature of Owner/Agent

Date



REAL ESTATE OWNER AFFIDAVIT

I, _____, am the owner or authorized agent of the owner of the parcel, which is the subject matter of the above application, and swears upon my oath that:

1. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to the parcel, which is the subject matter of this application.
2. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels in the City of Lake Saint Louis, owned by the same owner of the parcel of land which is the subject matter of this application.
3. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels of land owned by the control entities of the owner of the parcels which are the subject matter of this application.
4. All taxes and fees due and assessed by the City of Lake Saint Louis have been paid with regard to all parcels in the City of Lake Saint Louis owned by affiliates of the owner of the parcels which are the subject matter of this application, including those entities which are controlled by owner.

Name of Owner/Agent

Signature of Owner/Agent

Date



PLANNING AND ZONING APPLICATION

Updated June 25, 2020

Owner

STATE OF MISSOURI)
)
COUNTY OF ST. CHARLES)

On this _____ day of _____, 20__, before me, a notary public in and for the State of Missouri, personally appeared _____, known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this _____ day of _____, 20__, in the County of St. Charles, State of Missouri.

Notary Public

My Commission Expires: _____

Authorized Agent

STATE OF MISSOURI)
)
COUNTY OF ST. CHARLES)

On this _____ day of _____, 20__, before me, a notary public in and for the State of Missouri, personally appeared _____, who stated that he/she is the _____ of _____
Position Corporation, Partnership, Association, etc.

and that he/she has been authorized to make this application, and is further known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this _____ day of _____, 20__, in the County of St. Charles, State of Missouri.

Notary Public

My Commission Expires: _____



PLANNING & ZONING COMMISSION

STAFF REPORT

MEETING DATE	August 6, 2020
PROJECT LOCATION	<p>118 Hannahs Mill Drive (Lot 19 of Mill Creek Plat 1) and 122 Hannahs Mill Drive (Lot 20 of Mill Creek Plat 2).</p>
APPLICANT/PROPERTY OWNER	McBride 76B LLC
ZONING	“SR2” Single-Family Residential
APPLICATION TYPE	Preliminary Subdivision Plat and Final Subdivision Plat
PROPOSAL	Resubdivision of the subject properties to increase the size of Lot 19 (118 Hannahs Mill Drive) from 10,621 square feet to 12,197 square feet and to decrease the size of Lot 20 (122 Hannahs Mill Drive) from 14,349 square feet to 12,773 square feet by adjusting the location of the shared side property line.
STAFF	Louis Clayton, AICP, Director of Community Development

PROJECT DESCRIPTION

The subject properties are both owned by McBride and are currently vacant. The proposed resubdivision of the subject properties will increase the size of Lot 19 (118 Hannahs Mill Drive) from 10,621 square feet to 12,197 square feet and to decrease the size of Lot 20 (122 Hannahs Mill Drive) from 14,349 square feet to 12,773 square feet by adjusting the location of the shared side property line. The adjusted lots will comply with the minimum lot area for the SR2 Zoning District.

CONCLUSION

Staff is of the opinion that the proposed subdivision complies with the applicable requirements of the Municipal Code.

STAFF RECOMMENDATION

To **recommend approval** of the requested Preliminary Subdivision Plat and Final Subdivision Plat to the Board of Aldermen with the following conditions:

- 1. Use the correct City certificate.
- 2. Show the new side yard and front yard easements in relation to the new lot line.

MOTION

The following motion can be read verbatim or modified as desired:

*“I move to **recommend approval** of the Preliminary Subdivision Plat and Final Subdivision Plat to the Board of Aldermen with the conditions listed in the staff report.”*

OWNER'S CERTIFICATE (ORIGINAL LOT 19 AND ORIGINAL LOT 20):

THE UNDERSIGNED OWNER OF A TRACT OF LAND HEREIN PLATTED AND FURTHER DESCRIBED IN THE SURVEYORS CERTIFICATION HAS CAUSED THE SAME TO BE SURVEYED AND ADJUSTED IN LAND AREA IN THE MANNER SHOWN ON THIS BOUNDARY ADJUSTMENT PLAT, WHICH SHALL HEREAFTER BE KNOWN AS:

"MILL CREEK BOUNDARY ADJUSTMENT PLAT"

THE PURPOSE OF THIS PLAT IS TO ADJUST A BOUNDARY LINE BETWEEN ADJOINING PROPERTIES. NO NEW LOTS ARE BEING CREATED BY THIS PLAT. THIS BOUNDARY ADJUSTMENT PLAT DOES NOT REDUCE PARCEL AREA BELOW THE MINIMUM SIZE REQUIREMENTS OF THE CITY LAKE SAINT LOUIS, MISSOURI ZONING ORDINANCE.

NO NEW EASEMENTS OR BUILDING LINES ARE CREATED BY THIS PLAT. THIS BOUNDARY ADJUSTMENT PLAT DOES NOT VACATE ANY EXISTING EASEMENTS.

IT IS HEREBY CERTIFIED THAT THERE ARE NO DELINQUENT TAXES OUTSTANDING.

IN WITNESS THEREOF, I HAVE HERETO SET MY HAND THIS _____ DAY OF _____, 2020.

McBRIDE 76B, LLC
BY: McBRIDE & SON ACQUISITIONS, LLC, MANAGING MEMBER

BY: _____
JEREMY ROTH, AUTHORIZED AGENT

STATE OF MISSOURI)
)SS.
COUNTY OF _____)

ON THIS _____ DAY OF _____, 2020, BEFORE ME PERSONALLY APPEARED JEREMY ROTH, TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE DULY AUTHORIZED AGENT OF McBRIDE & SON ACQUISITIONS, LLC, A MISSOURI LIMITED LIABILITY COMPANY AND MANAGING MEMBER OF McBRIDE 76B, LLC, A MISSOURI LIMITED LIABILITY COMPANY, AND THAT SAID INSTRUMENT WAS SIGNED ON BEHALF OF SAID LIMITED LIABILITY COMPANY, AND SAID JEREMY ROTH ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.

IN TESTIMONY WHEREOF, I HAVE HERETO SET MY HAND AND AFFIXED MY OFFICIAL SEAL IN THE COUNTY AND STATE AFORESAID, THE DAY AND YEAR FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

LIENHOLDER - (ORIGINAL LOT 19 AND ORIGINAL LOT 20):

WHEREAS _____ BY A DEED OF TRUST DATED _____, 20____ AND RECORDED IN DOCUMENT NUMBER _____ OF THE ST. CHARLES COUNTY RECORDS, CONVEYED TO THE TRUSTEE THEREIN NAMED CERTAIN REAL ESTATE TO SECURE THE PAYMENT OF CERTAIN NOTE OR NOTES IN SAID DEED DESCRIBED AND SET FORTH, AND WHEREAS, SAID DEED OF TRUST AND NOTE OR NOTES HAS OR HAVE BEEN PARTIALLY PAID AND SATISFIED.

NOW THEREFORE, THE UNDERSIGNED, PRESENT HOLDER AND LEGAL OWNER OF SAID DEED OF TRUST AND NOTE OR NOTES, DOES HEREBY JOIN IN AND APPROVE IN EVERY DETAIL THIS BOUNDARY ADJUSTMENT PLAT TO BE KNOWN AS:

"MILL CREEK - BOUNDARY ADJUSTMENT PLAT"

IN WITNESS THEREOF, THE UNDERSIGNED HAS EXECUTED THESE PRESENTS THIS _____ DAY OF _____, 2020.

LENDER: _____

BY: _____

PRINT NAME AND TITLE

STATE OF MISSOURI)
)SS.
COUNTY OF _____)

ON THIS _____ DAY OF _____, 2020, BEFORE ME APPEARED _____ TO ME PERSONALLY KNOWN, WHO BEING BY ME DULY SWORN, DID SAY HE/SHE IS THE _____ AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF SAID ASSOCIATION AND SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID ASSOCIATION.

IN TESTIMONY WHEREOF, I HAVE HEREWIT SET MY HAND AND AFFIXED MY NOTARIAL SEAL IN THE COUNTY AND STATE AFORESAID, THE DAY AND YEAR FIRST ABOVE WRITTEN.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

CITY CERTIFICATION:

THIS FINAL PLAT APPROVED BY THE CITY OF LAKE SAINT LOUIS

BY: _____
MAYOR

PRINT NAME: _____

DATE: _____

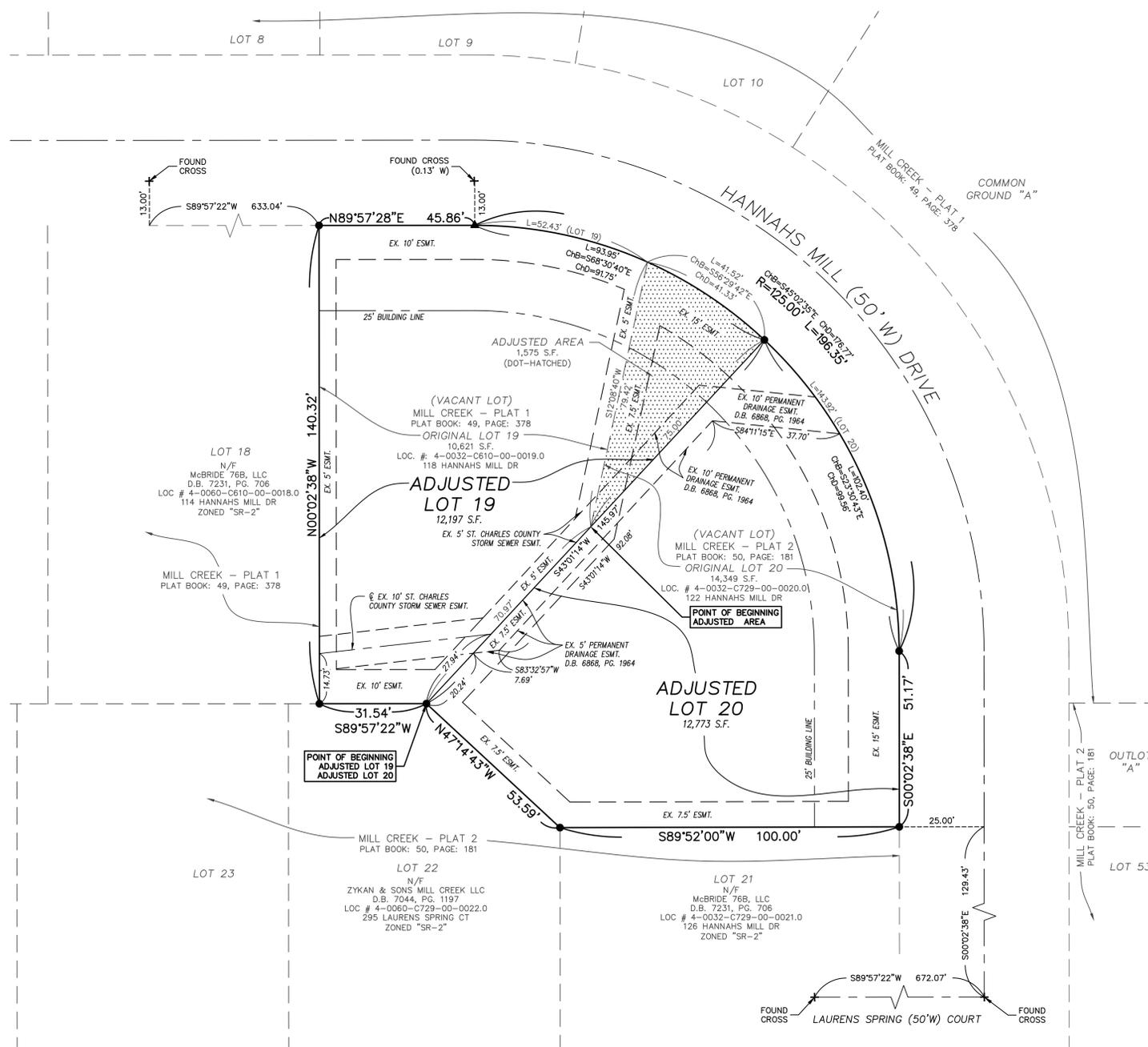
BY: _____
CITY CLERK

PRINT NAME: _____

DATE: _____

MILL CREEK BOUNDARY ADJUSTMENT PLAT

A BOUNDARY ADJUSTMENT PLAT OF ALL OF LOT 19 OF MILL CREEK - PLAT 1 (PLAT BOOK 49, PAGE 378) AND ALL OF LOT 20 OF MILL CREEK - PLAT 2 (PLAT BOOK 50, PAGE 181), LOCATED IN U.S. SURVEY 825, AND FRACTIONAL SECTION 4, TOWNSHIP 46 NORTH, RANGE 2 EAST, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI ZONED "SR-2" SINGLE FAMILY RESIDENTIAL DISTRICT



SURVEYOR'S NOTES

- THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEARS BELOW ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PLAT AND DISCLAIMS ANY RESPONSIBILITY FOR PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT FOR WHICH THIS PLAT APPEARS.
- THIS PLAT CONTAINS 24,970 SQUARE FEET (0.5732 ACRES MORE OR LESS), AND A TOTAL OF 2 LOTS.
- BASIS OF BEARINGS: THE RECORD PLAT OF "MILL CREEK - PLAT 1", RECORDED IN PLAT BOOK 49, PAGE 378 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS.
- ALL BEARINGS AND DISTANCES ARE RECORD AND SURVEYED UNLESS NOTED OTHERWISE. () DENOTES RECORD INFORMATION.
- SOURCE OF RECORD TITLE: SPECIAL WARRANTY DEED TO McBRIDE 76B, LLC, RECORDED IN DEED BOOK 7231 PAGE 706 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS.
- SUBJECT TRACT IS LOCATED IN FLOOD ZONE "X" (UNSHADED) ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 29183C0220G EFFECTIVE JANUARY 20, 2016. ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- PERMANENT AND SEMI-PERMANENT MONUMENTS WILL BE SET IN ONE YEAR FROM DATE OF RECORDING OR WHEN FINAL GRADING IS COMPLETE.
- THE SUBDIVISION TRACT IS CURRENTLY ZONED "SR-2" - SINGLE FAMILY RESIDENTIAL DISTRICT ACCORDING TO THE CITY OF LAKE SAINT LOUIS, MISSOURI. FRONT YARD SETBACK: 25 FEET. SIDE YARD SETBACK: 8 FEET. REAR YARD SETBACK: 25 FEET OR 20% LOT DEPTH, WHICHEVER IS GREATER. MINIMUM LOT AREA: 9,000 SQUARE FEET.
- A CURRENT TITLE REPORT OR ABSTRACT OF TITLE HAS NOT BEEN FURNISHED TO THE LAND SURVEYOR BY THE CLIENT FOR LOT 19 AND LOT 20. NO ADDITIONAL RESEARCH HAS BEEN PERFORMED BY THE SURVEYOR. THIS BOUNDARY ADJUSTMENT PLAT IS SUBJECT TO ANY EASEMENTS OF RECORD.
- ALL EASEMENTS LABELED AS EXISTING "EX" LOCATED WITHIN ORIGINAL LOT 19 ARE GRANTED BY THE PLAT OF "MILL CREEK - PLAT 1", RECORDED IN PLAT BOOK 49 PAGE 378 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS.
- ALL EASEMENTS LABELED AS EXISTING "EX" LOCATED WITHIN ORIGINAL LOT 20 ARE GRANTED BY THE PLAT OF "MILL CREEK - PLAT 2", RECORDED IN PLAT BOOK 50 PAGE 181 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS.

PROPERTY DESCRIPTION (ORIGINAL LOT 19):

A TRACT OF LAND BEING ALL OF LOT 19 OF MILL CREEK - PLAT 1, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 49 PAGE 378 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS, BEING LOCATED IN U.S. SURVEY 825 AND FRACTIONAL SECTION 4, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI.

PROPERTY DESCRIPTION (ORIGINAL LOT 20):

A TRACT OF LAND BEING ALL OF LOT 20 OF MILL CREEK - PLAT 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 50 PAGE 181 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS, BEING LOCATED IN U.S. SURVEY 825 AND FRACTIONAL SECTION 4, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI.

PROPERTY DESCRIPTION (ADJUSTED LOT 19):

A TRACT OF LAND BEING PART OF LOT 20 OF MILL CREEK - PLAT 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 50 PAGE 181 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS, BEING LOCATED IN U.S. SURVEY 825 AND FRACTIONAL SECTION 4, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEASTERN CORNER OF LOT 19 OF "MILL CREEK - PLAT 1", RECORDED IN PLAT BOOK 49 PAGE 378 OF THE ABOVEMENTIONED RECORDS, THENCE PROCEEDING ALONG THE EASTERN LINE OF SAID LOT 19 AND ITS NORTHERLY PROLONGATION, NORTH 43°11'14" EAST, 145.97 FEET TO A POINT ON THE WESTERN RIGHT-OF-WAY OF HANNAHS MILL DRIVE (50 FEET WIDE), THENCE ALONG THE WESTERN RIGHT-OF-WAY OF SAID HANNAHS MILL DRIVE, ALONG AN ARC TO THE RIGHT, AND ARC LENGTH OF 102.40 FEET, A RADIUS OF 125.00 FEET, THE CHORD OF WHICH BEARS SOUTH 23°30'43" EAST, 99.58 FEET TO A POINT OF TANGENCY, THENCE CONTINUING ALONG SAID WESTERN RIGHT-OF-WAY, SOUTH 00°02'38" EAST, 51.57 FEET TO THE NORTHEASTERN CORNER OF LOT 21 OF THE ABOVEMENTIONED "MILL CREEK - PLAT 2" SUBDIVISION, THENCE ALONG THE NORTHERN LINE OF SAID LOT 21, SOUTH 89°52'00" WEST, 100.00 FEET TO THE NORTHEASTERN CORNER OF LOT 22 OF SAID "MILL CREEK - PLAT 1" SUBDIVISION, THENCE ALONG THE NORTHERN LINE OF SAID LOT 22, NORTH 47°14'43" WEST, 53.59 FEET TO THE POINT OF BEGINNING, AND CONTAINING 12,773 SQUARE FEET (0.2932 ACRES MORE OR LESS), ACCORDING TO A SURVEY PERFORMED BY THE STERLING COMPANY DURING THE MONTH OF JULY, 2020, UNDER ORDER NUMBER 20-06-211.

PROPERTY DESCRIPTION (ADJUSTED LOT 20):

A TRACT OF LAND BEING ALL OF LOT 19 OF MILL CREEK - PLAT 1, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 49 PAGE 378 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS, AND A TRACT OF LAND BEING PART OF LOT 20 OF MILL CREEK - PLAT 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 50 PAGE 181 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS, LOCATED IN U.S. SURVEY 825 AND FRACTIONAL SECTION 4, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEASTERN CORNER OF LOT 19 OF THE ABOVEMENTIONED "MILL CREEK PLAT 1" SUBDIVISION, SAID CORNER BEING LOCATED ON THE NORTHERN LINE OF LOT 22 OF THE ABOVEMENTIONED "MILL CREEK - PLAT 2" SUBDIVISION, THENCE PROCEEDING ALONG THE NORTHERN LINE OF SAID LOT 22, SOUTH 89°52'22" WEST, 31.54 FEET TO THE SOUTHEASTERN CORNER OF LOT 18 THE ABOVEMENTIONED "MILL CREEK - PLAT 1" SUBDIVISION, THENCE ALONG THE EASTERN LINE OF SAID LOT 19, NORTH 00°02'38" WEST, 140.32 FEET TO THE NORTHEASTERN CORNER OF SAID LOT 18, SAID CORNER BEING LOCATED ON THE SOUTHERN RIGHT-OF-WAY OF HANNAHS MILL DRIVE (50 FEET WIDE), THENCE ALONG THE SOUTHERN RIGHT-OF-WAY OF SAID HANNAHS MILL DRIVE, NORTH 89°52'28" EAST, 45.86 FEET TO A POINT OF CURVATURE, THENCE CONTINUING ALONG SAID SOUTHERN RIGHT-OF-WAY, ALONG AN ARC TO THE RIGHT, AN ARC LENGTH OF 93.95 FEET, A RADIUS OF 125.00 FEET, THE CHORD OF WHICH BEARS SOUTH 68°30'40" EAST, 91.75 FEET TO A POINT BEING LOCATED ON THE NORTHERLY PROLONGATION OF THE WESTERN LINE OF LOT 20 OF THE ABOVEMENTIONED "MILL CREEK - PLAT 2" SUBDIVISION, THENCE LEAVING SAID SOUTHERN RIGHT-OF-WAY AND PROCEEDING ALONG THE WESTERN LINE OF SAID LOT 20 AND ITS NORTHERLY PROLONGATION, SOUTH 43°11'14" WEST, 145.97 FEET TO THE POINT OF BEGINNING, AND CONTAINING 12,197 SQUARE FEET (0.2800 ACRES MORE OR LESS), ACCORDING TO A SURVEY PERFORMED BY THE STERLING COMPANY DURING THE MONTH OF JULY, 2020 UNDER ORDER NUMBER 20-06-211.

PROPERTY DESCRIPTION (ADJUSTED AREA):

A TRACT OF LAND BEING PART OF LOT 20 OF MILL CREEK - PLAT 2, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 50 PAGE 181 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS, LOCATED IN U.S. SURVEY 825 AND FRACTIONAL SECTION 4, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEASTERN CORNER OF LOT 19 OF "MILL CREEK - PLAT 1", RECORDED IN PLAT BOOK 49 PAGE 378 OF THE ABOVEMENTIONED RECORDS, THENCE PROCEEDING ALONG THE EASTERN LINE OF SAID LOT 19 NORTH 43°11'14" EAST, 70.97 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND, THENCE CONTINUING ALONG SAID EASTERN LINE OF LOT 19, NORTH 12°08'40" EAST, 78.42 FEET TO THE NORTHEASTERN CORNER OF SAID LOT 19, SAID CORNER BEING LOCATED ON THE SOUTHERN RIGHT-OF-WAY OF HANNAHS MILL DRIVE (50 FEET WIDE), THENCE PROCEEDING ALONG THE SOUTHERN RIGHT-OF-WAY OF SAID HANNAHS MILL DRIVE, ALONG A NON-RADIAL ARC TO THE RIGHT, AND ARC LENGTH OF 41.52 FEET, A RADIUS OF 125.00 FEET, THE CHORD OF WHICH BEARS SOUTH 56°29'42" EAST, 41.33 FEET TO A POINT BEING ON THE NORTHERLY PROLONGATION OF THE EASTERN LINE OF THE ABOVEMENTIONED LOT 19, THENCE PROCEEDING ALONG THE NORTHERLY PROLONGATION OF THE EASTERN LINE OF SAID LOT 19, SOUTH 43°11'14" WEST, 75.00 FEET TO THE POINT OF BEGINNING, AND CONTAINING 1,575 SQUARE FEET (0.0361 ACRES MORE OR LESS).

PREPARED FOR:

McBRIDE 76B, LLC
16091 SWINGLEY RIDGE ROAD, SUITE 300
CHESTERFIELD, MISSOURI 63017
PH. (636) 537-2000
FAX. (636) 537-2546
WWW.MCBRIDEHOMES.COM

THIS IS TO CERTIFY TO McBRIDE 76B, LLC THAT WE HAVE, DURING THE MONTH OF JULY, 2020, PERFORMED A BOUNDARY SURVEY OF "ALL OF LOT 19 OF MILL CREEK - PLAT ONE, RECORDED IN PLAT BOOK 49 PAGE 378, AND ALL OF LOT 20 OF MILL CREEK - PLAT TWO, RECORDED IN PLAT BOOK 50, PAGE 181, LOCATED IN U.S. SURVEY 825, AND FRACTIONAL SECTION 4, TOWNSHIP 46 NORTH, RANGE 2 EAST, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI", AND BASED UPON SAID SURVEY HAVE BOUNDARY ADJUSTED SAID TRACTS OF LAND IN THE MANNER SHOWN HEREON. THIS BOUNDARY ADJUSTMENT PLAT AND THE SURVEY ON WHICH IT IS BASED MEETS OR EXCEEDS THE "MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS AN "URBAN" CLASS PROPERTY IN EFFECT AT THE DATE OF THIS PLAT.

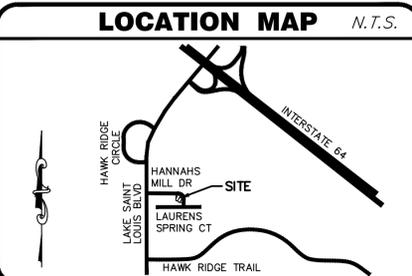
THE STERLING COMPANY
MO. REG. 307-D

JAMEY A. HENSON, P.L.S., VICE PRESIDENT DATE
MO. REG. L.S. #2007017963

Drawing name: C:\Users\jason\AppData\Local\Temp\AutoCAD\Publsh... (05/04/2021 10:40) - Lots 19 and 20.dwg - 2:50pm - Printed by: jason

THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-0440 Fax 314-487-8944
www.sterling-eng-sur.com

DRAWN BY:	GFS	MSD P# - N/A
CHECKED BY:	JAH	DATE: JULY 15, 2020
JOB NO.:	20-06-211	BOUNDARY ADJUSTMENT PLAT



- ABBREVIATION LEGEND:**
- BK. = BOOK
 - BLDG. = BUILDING
 - C.G. = COMMON GROUND
 - CHB. = CHORD BEARING
 - CHD. = CHORD DISTANCE
 - D.B. = DEED BOOK
 - ESMT. = EASEMENT
 - FND. = FOUND
 - N/F. = NOW OR FORMERLY
 - (NR) = NON-RADIAL
 - P.B. = PLAT BOOK
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.V.M.T. = PAVEMENT
 - (R) = RECORD
 - R.O.W. = RIGHT-OF-WAY
 - RET. = RETAINING
 - (S) = SURVEYED
 - S.F. = SQUARE FEET
 - T.S.C.L. = TEMPORARY SLOPE AND CONSTRUCTION LICENSE
 - W. = WIDTH

- SYMBOL LEGEND:**
- ▲ = SET PERMANENT MONUMENT IN ACCORDANCE WITH MISSOURI STANDARDS (5/8" IRON W/ ALUMINUM CAP).
 - = SET SEMI-PERMANENT MONUMENT IN ACCORDANCE WITH MISSOURI STANDARDS (1/2" IRON W/ PLASTIC CAP OR CUT CROSS).
 - = FOUND PERMANENT MONUMENT
 - = FOUND SEMI-PERMANENT MONUMENT
 - ⊕ = FOUND CROSS
 - ⊙ = FOUND ANCHOR
 - ⊛ = BENCHMARK
 - 523 = ADDRESS

- HATCHING LEGEND:**
- ADJUSTED AREA = [Hatched Pattern]

**APPLICATION FOR SPECIAL USE PERMIT,
SITE PLAN REVIEW, SUBDIVISION DEVELOPMENT
PLAN REVIEW, OR ZONING AMENDMENT**

Application is hereby made to the Planning and Zoning Commission of the City of Lake Saint Louis to approve the following request as described below.

Applicant's Name: Windsor Park, LLC

Applicant's Address: 10328 Lake Bluff Drive St. Louis, Missouri 63123

Applicant's Email Address: sstone@budrovich.com

Applicant's Phone # (314) 667-9400 Fax No. _____

Property Owner's Name: same as applicant

Property Owner's Address: _____

Property Owner's Email Address: _____

Property Owner's Phone # _____ Fax No. _____

Legal Description of Property (legal description may be attached):
see record plat

Requested Action: Subdivision – Preliminary Plat, **Final Plat**
 Site Plan Review
 Special Use Permit
 Preliminary Development Plan
 Zoning Amendment

General Location of Property: Freymuth Road

Size of Tract: 29.457 acres

Zoning of Tract: SR-2

Applicant's Interest in Property: Owner
(Owner, Agent, Lease Option, Etc.)

Purpose of Request: single family residential

Name, address, and title of all officers, partners, or control persons who have any interest in the application:

Skip Stone

Description of Proposed Project: 26 single family residential lots

Is there any deed restrictions on this property? no

If so, please attach a copy of the property deed restrictions.

PLEASE NOTE: As specified in Section 405.320, paragraph C. of the Municipal Code, "No site plan approval shall be valid for a period longer than twenty-four (24) months from the date of approval of the site plan application, unless within such period a building permit is obtained and construction is commenced."

For further information related to validity and extensions, please see the full text of the Code, available on line at www.lakesaintlouis.com or by request to the Community Development Department.

I, Skip Stone, hereby certify that the information given above is true and accurate and that I have reviewed the applicable land development regulations.



Signature of Owner or Agent

7/2/2020
Date

PLEASE SUBMIT THE FOLLOWING ALONG WITH THE COMPLETED APPLICATION:

[NOTE: COMPLETED APPLICATIONS ARE REQUIRED 35 DAYS IN ADVANCE OF THE MEETING DATE. APPLICATIONS LACKING ANY ONE OF THE FOLLOWING ITEMS ON DEADLINE SUBMITTAL DATE WILL BE CONSIDERED INCOMPLETE AND WILL NOT BE PLACED ON THE AGENDA.]

- Review Fee
- One (1) full size (24" by 36") plan set **FOLDED** to 8½" by 11".
- Vicinity map placed on plans.
- One (1) consolidated PDF of the plan via flash drive or email. Do not exceed 20 MB if emailing.
- **RESIDENTIAL ZONING: CERTIFIED list** from the St. Charles County Assessor's Office of property owners' names and addresses within **300 feet** of the property. List to be placed on letter-size mailing labels and submitted with original certified list.
- **COMMERCIAL ZONING: CERTIFIED list** from the St. Charles County Assessor's Office of property owners' names and addresses within **1,000 feet** of the property. List to be placed on letter-size mailing labels and submitted with original certified list.
- Mail-out Fee of letters to property owners.
- Cost of advertising in Newstime and St. Charles County Business Record.

Please note, the applicant or his representative is expected to be in attendance and make a presentation during the Public Hearing portion of the P&Z meeting. The meetings are held the 1st Thursday of each month.

PLANNING AND ZONING FEES

SUBDIVISION PLATTING FEE – RESIDENTIAL {Preliminary Development Plan} LOT/UNIT	\$250.00 + \$25.00 PER
SUBDIVISION PLATTING FEE – COMMERCIAL AND INDUSTRIAL {Preliminary Development Plan}	\$75.00 PER SHEET + \$10.00 PER ACRE
SITE PLAN REVIEW FEE	\$100.00
SPECIAL USE PERMIT	\$100.00
ZONING/REZONING REVIEW FEE	\$200.00
MAIL-OUT LETTER FEE	\$0.79 per letter
AD FEE (St. Charles Business Record and Newstime) <i>*This cost is an estimate. Once the ads have been placed, you will be notified regarding the difference.</i>	*\$400.00

**PLEASE NOTE THE APPLICATION FEE IS DUE AT TIME OF APPLICATION
SUBMITTAL. THERE WILL BE NO REFUND OF OVERPAYMENTS THAT ARE
LESS THAN \$3.00.**

*Lake Saint Louis City ordinances state no application may be approved if
the applicant, its entities or affiliates are in arrears as to payment of taxes
or fees. (SECTION 135.260: TAXES MUST BE PAID PRIOR TO THE ISSUANCE OF
ANY PERMIT, LICENSE OR FORMAL APPROVAL)*

TO BE COMPLETED BY CITY STAFF

Filing Fee Amount: _____ Mailing Fee Amount: _____
Date Fees Paid: _____

REAL ESTATE OWNER AFFIDAVIT

I, Skip Stone, am the owner or
(Owner or Agent)

authorized agent of the owner of the parcel, which is the subject matter of the above application, and swears upon my oath that:

1. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to the parcel, which is the subject matter of this application.
2. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels in the City of Lake Saint Louis, owned by the same owner of the parcel of land which is the subject matter of this application.
3. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels of land owned by the control entities of the owner of the parcels which are the subject matter of this application.
4. All taxes and fees due and assessed by the City of Lake Saint Louis have been paid with regard to all parcels in the City of Lake Saint Louis owned by affiliates of the owner of the parcels which are the subject matter of this application, including those entities which are controlled by owner.



Signature of Owner (if individual) or
Signature of Authorized Agent of Applicant

Owner

STATE OF MISSOURI)
)
COUNTY OF ST. CHARLES)

On this 2 day of July, 2020, before me, a notary public in and for the State of Missouri, personally appeared _____, known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this 2 day of July, 2020, in the County of St. Charles, State of Missouri.



Jessica L. Hargrave
Notary Public

My Commission Expires: 5/27/2023

Authorized Agent

STATE OF MISSOURI)
)
COUNTY OF ST. CHARLES)

On this _____ day of _____, 20____, before me, a notary public in and for the State of Missouri, personally appeared _____, who stated that he/she is the _____ of _____
Position Corporation, Partnership, Association, etc.

and that he/she has been authorized to make this application, and is further known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this _____ day of _____, 20____, in the County of St. Charles, State of Missouri.

Notary Public

My Commission Expires: _____

**APPLICATION FOR SPECIAL USE PERMIT,
SITE PLAN REVIEW, SUBDIVISION DEVELOPMENT
PLAN REVIEW, OR ZONING AMENDMENT**

Application is hereby made to the Planning and Zoning Commission of the City of Lake Saint Louis to approve the following request as described below.

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Applicant's Email Address: sstone@budrovich.com

Applicant's Phone # (314) 667-9400 Fax No.

Property Owner's Name: same as applicant

Property Owner's Address:

Property Owner's Email Address:

Property Owner's Phone # Fax No.

Legal Description of Property (legal description may be attached):
see record plat

- Requested Action:
- Subdivision – Preliminary Plat, **Final Plat**
 - Site Plan Review
 - Special Use Permit
 - Preliminary Development Plan
 - Zoning Amendment

General Location of Property: Freymuth Road

Size of Tract: 14.172 acres

Zoning of Tract: SR-2

Applicant's Interest in Property: Owner
(Owner, Agent, Lease Option, Etc.)

Purpose of Request: single family residential

Name, address, and title of all officers, partners, or control persons who have any interest in the application:

Skip Stone

Description of Proposed Project: 35 single family residential lots

Is there any deed restrictions on this property? no

If so, please attach a copy of the property deed restrictions.

PLEASE NOTE: As specified in Section 405.320, paragraph C. of the Municipal Code, *“No site plan approval shall be valid for a period longer than twenty-four (24) months from the date of approval of the site plan application, unless within such period a building permit is obtained and construction is commenced.”*

For further information related to validity and extensions, please see the full text of the Code, available on line at www.lakesaintlouis.com or by request to the Community Development Department.

I, Skip Stone, hereby certify that the information given above is true and accurate and that I have reviewed the applicable land development regulations.



Signature of Owner or Agent

Date

PLEASE SUBMIT THE FOLLOWING ALONG WITH THE COMPLETED APPLICATION:

[NOTE: COMPLETED APPLICATIONS ARE REQUIRED 35 DAYS IN ADVANCE OF THE MEETING DATE. APPLICATIONS LACKING ANY ONE OF THE FOLLOWING ITEMS ON DEADLINE SUBMITTAL DATE WILL BE CONSIDERED INCOMPLETE AND WILL NOT BE PLACED ON THE AGENDA.]

- Review Fee
- One (1) full size (24" by 36") plan set **FOLDED** to 8½" by 11".
- Vicinity map placed on plans.
- One (1) consolidated PDF of the plan via flash drive or email. Do not exceed 20 MB if emailing.
- **RESIDENTIAL ZONING: CERTIFIED list** from the St. Charles County Assessor's Office of property owners' names and addresses within **300 feet** of the property. List to be placed on letter-size mailing labels and submitted with original certified list.
- **COMMERCIAL ZONING: CERTIFIED list** from the St. Charles County Assessor's Office of property owners' names and addresses within **1,000 feet** of the property. List to be placed on letter-size mailing labels and submitted with original certified list.
- Mail-out Fee of letters to property owners.
- Cost of advertising in Newstime and St. Charles County Business Record.

Please note, the applicant or his representative is expected to be in attendance and make a presentation during the Public Hearing portion of the P&Z meeting. The meetings are held the 1st Thursday of each month.

PLANNING AND ZONING FEES

SUBDIVISION PLATTING FEE – RESIDENTIAL {Preliminary Development Plan} LOT/UNIT	\$250.00 + \$25.00 PER
SUBDIVISION PLATTING FEE – COMMERCIAL AND INDUSTRIAL {Preliminary Development Plan}	\$75.00 PER SHEET + \$10.00 PER ACRE
SITE PLAN REVIEW FEE	\$100.00
SPECIAL USE PERMIT	\$100.00
ZONING/REZONING REVIEW FEE	\$200.00
MAIL-OUT LETTER FEE	\$0.79 per letter
AD FEE (St. Charles Business Record and Newstime) <i>*This cost is an estimate. Once the ads have been placed, you will be notified regarding the difference.</i>	*\$400.00

**PLEASE NOTE THE APPLICATION FEE IS DUE AT TIME OF APPLICATION
SUBMITTAL. THERE WILL BE NO REFUND OF OVERPAYMENTS THAT ARE
LESS THAN \$3.00.**

*Lake Saint Louis City ordinances state no application may be approved if
the applicant, its entities or affiliates are in arrears as to payment of taxes
or fees. (SECTION 135.260: TAXES MUST BE PAID PRIOR TO THE ISSUANCE OF
ANY PERMIT, LICENSE OR FORMAL APPROVAL)*

TO BE COMPLETED BY CITY STAFF

Filing Fee Amount: _____ Mailing Fee Amount: _____
Date Fees Paid: _____

REAL ESTATE OWNER AFFIDAVIT

I, Skip Stone, am the owner or
(Owner or Agent)

authorized agent of the owner of the parcel, which is the subject matter of the above application, and swears upon my oath that:

1. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to the parcel, which is the subject matter of this application.
2. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels in the City of Lake Saint Louis, owned by the same owner of the parcel of land which is the subject matter of this application.
3. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels of land owned by the control entities of the owner of the parcels which are the subject matter of this application.
4. All taxes and fees due and assessed by the City of Lake Saint Louis have been paid with regard to all parcels in the City of Lake Saint Louis owned by affiliates of the owner of the parcels which are the subject matter of this application, including those entities which are controlled by owner.



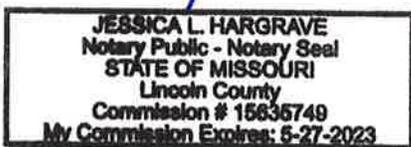
Signature of Owner (if individual) or
Signature of Authorized Agent of Applicant

Owner

STATE OF MISSOURI)
)
COUNTY OF ST. CHARLES)

On this 2 day of July, 2020, before me, a notary public in and for the State of Missouri, personally appeared _____, known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this 2 day of July, 2020, in the County of St. Charles, State of Missouri.



Jessica L. Hargrave
Notary Public

My Commission Expires: 5/27/2023

Authorized Agent

STATE OF MISSOURI)
)
COUNTY OF ST. CHARLES)

On this ____ day of _____, 20____, before me, a notary public in and for the State of Missouri, personally appeared _____, who stated that he/she is the _____ of _____
Position Corporation, Partnership, Association, etc.

and that he/she has been authorized to make this application, and is further known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this ____ day of _____, 20____, in the County of St. Charles, State of Missouri.

Notary Public

My Commission Expires: _____



PLANNING & ZONING COMMISSION

STAFF REPORT

MEETING DATE	August 6, 2020
PROJECT LOCATION	<p>4009 Highway 40/61; 100 and 110 Freymuth Lane</p>
APPLICANT/PROPERTY OWNER	Windsor Park, LLC
LOT SIZE	Plat 1 – 29.457 acres; Plat 2 – 14.172 acres
ZONING	“SR2” Single-Family Residential District
PROPOSAL	Approval of Final Subdivision Plats for Windsor Park Subdivision Plat 1 consisting of 26 single-family residential lots and Windsor Park Subdivision Plat 2 consisting of 35 single-family residential lots.
APPLICATION TYPE	Final Subdivision Plat
STAFF	Louis Clayton, AICP, Director of Community Development

BACKGROUND

The subject property measures 43.89 acres, is located on the south side of Interstate 64 between Freymuth Lane and Oak Bluff Drive, and is currently under development.

On July 2, 2018, the Board of Aldermen passed Ordinance 3867 approving a request from KAPB, LLC for a change in zoning classification from “NU” Non-Urban District to “SR2” Single Family Residential District, and Preliminary Subdivision Plat associated with an 80-lot residential development to be known as Windsor Park Subdivision. The Final Subdivision Plat was approved by the Board of Aldermen on March 18, 2019 (Ordinance 3964), but was never recorded. On March 2, 2020, the Board of Aldermen passed Ordinance 4083 approving a request from Skip Stone, Pinnacle Land Development LLC, for an amended Preliminary Subdivision Plat for an 80-lot residential subdivision.

Section 405.240 of the Municipal Code states that the approval of a Preliminary Subdivision Plat shall be effective for a period of one year. An application for a Final Subdivision Plat must be submitted to the Planning and Zoning Commission within this one year period or the Preliminary Subdivision Plat will be null and void. In accordance with Section 405.250, the Final Subdivision Plat shall be presented to the Planning and Zoning Commission for their review and recommendation, and to the Board of Aldermen for their approval.

PROJECT DESCRIPTION & ANALYSIS

The applicant has submitted Final Subdivision Plats for Plat 1 (26 lots) and Plat 2 (35 lots). The proposed plats comply in all respects with the approved Preliminary Subdivision Plat, as required by Section 405.250.4 of the Municipal Code.

	Preliminary Subdivision Plat	Final Subdivision Plat 1	Final Subdivision Plat 2	Remaining
Lots				
70' (wide)	5	5	0	0
76' (wide)	21	21	0	0
86' (wide)	54	0	35	19
Total	80	26	35	19

Streets

The subdivision will have access from South Outer 40. All subdivision streets will be public and are 26 feet wide with five-foot tree lawns and five-foot sidewalks on both sides of the street.

Stormwater Management

A retention pond at the north end of the site and a dry detention basin at the east end of the site will serve the entire subdivision. The Public Works Department finds the stormwater plan acceptable.

Trees & Landscaping

The Tree Preservation Plan proposes 48.9 percent of existing tree canopy to be removed which is less than the 70 percent that is permitted by the City's Tree Preservation Regulations.

Landscape buffers are not required, and are not proposed, between the subject property and the adjacent properties; however, the applicant proposes to plant additional ornamental and evergreen trees in certain locations along the southern property line and Oak Bluff Drive to mitigate the potential visual impacts between the proposed development and adjacent homes. The trees will be owned and maintained by individual homeowners.

Street trees are proposed along all street frontages at a rate of 1 per 40 feet of frontage.

The Tree Preservation Plan and Landscape Plan have been approved by the City's contracted arborist.

Park Land

The applicant will pay an in lieu fee of \$36,000 (80 lots x \$450 per lot) to satisfy the park land dedication requirements specified in Section 425.460 of the Municipal Code.

Model Building Plans

The applicant will submit model building plans to the Architectural Review Board for their review and approval in accordance with Section 405.360 of the Municipal Code.

CONCLUSION

Staff is of the opinion that the proposed Final Subdivision Plats comply in all respects with the approved Preliminary Subdivision Plat, and comply with the applicable requirements of the SR2 Zoning District, and the City's Municipal Code.

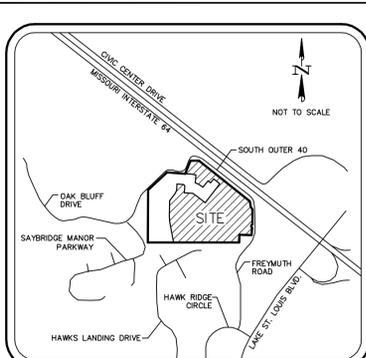
STAFF RECOMMENDATION

To ***recommend approval*** of the proposed Final Subdivision Plats to the Board of Aldermen as submitted.

MOTION

The following motion can be read verbatim or modified as desired:

*"I move to **recommend approval** of the proposed Final Subdivision Plats to the Board of Aldermen as submitted."*



LOCATION MAP
NOT TO SCALE

OWNERS CERTIFICATION

WE, THE UNDERSIGNED OWNERS OF THE TRACT OF LAND HEREIN PLATTED AND FURTHER DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE, HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT, WHICH SUBDIVISION SHALL HEREAFTER BE KNOWN AS "WINDSOR PARK PLAT ONE".

THE UNDERSIGNED HEREBY DEDICATES BEXLEY DRIVE, TOGETHER WITH ALL ROUNDINGS LOCATED AT THE STREET INTERSECTIONS, WHICH FOR BETTER IDENTIFICATION ARE SHOWN HATCHED ON THIS PLAT, TO THE CITY OF LAKE SAINT LOUIS, MISSOURI, FOR PUBLIC USE FOREVER. THE UNDERSIGNED FURTHER DESIGNATES THESE STREETS AS UTILITY EASEMENTS FOR ALL PUBLIC UTILITIES AS THEIR INTEREST MAY APPEAR.

THE UNDERSIGNED OWNERS OF THE REAL ESTATE DESCRIBED HEREIN DO HEREBY GRANT AND DEDICATE THE AREAS SHOWN AS "EASEMENTS" AND "UTILITY EASEMENTS" LOCATED AS PERPETUAL NON-EXCLUSIVE UTILITY EASEMENTS FOR SANITARY SEWERS, STORM SEWERS, GAS LINES, WATER LINES, ELECTRIC LINES, COMMUNICATION LINES, OTHER PUBLIC UTILITY FACILITIES, AND ALL RELATED APPURTENANCES. THE PERPETUAL NON-EXCLUSIVE UTILITY EASEMENTS ARE HEREBY GRANTED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI, PUBLIC WATER SUPPLY DISTRICT NO. 2, CUIVRE RIVER ELECTRIC COOPERATIVE, INC., SPIRE ENERGY COMPANY, CHARTER CABLE COMPANY, CENTURYLINK TELEPHONE COMPANY, AND TO ALL OTHER PUBLIC UTILITY PROVIDERS AS THEIR INTEREST MAY APPEAR, AND THEIR SUCCESSORS AND ASSIGNS, FOR THE INSTALLATION, USE, PATROL, ACCESS, INSPECTION, MAINTENANCE, REPAIR, RELOCATION AND REPLACEMENT OF SANITARY SEWERS, STORM SEWERS, GAS LINES, WATER LINES, COMMUNICATION LINES, ELECTRIC LINES AND OTHER PUBLIC UTILITY FACILITIES, INCLUDING ALL RELATED APPURTENANCES AND IMPROVEMENTS, THE RIGHT OF TEMPORARY USE OF GROUND ADJACENT TO SAID UTILITY EASEMENTS, AND BY THE EXCAVATION AND TEMPORARY STORAGE OF MATERIALS DURING THE INSTALLATION, INSPECTION, REPAIR, RELOCATION, OR REPLACEMENT OF SAID UTILITY FACILITIES, TOGETHER WITH ALL RIGHTS IMPLIED BY AND INCIDENTAL TO THE USE OF SAID UTILITY EASEMENTS, INCLUDING, WITHOUT LIMITATION, THE RIGHT OF INGRESS AND EGRESS TO AND FROM SUCH UTILITY EASEMENTS FROM ADJACENT PROPERTY, AND THE RIGHT TO TRIM, CONTROL, CUT AND REMOVE ANY AND ALL BRUSH, BUSHES, SAPLINGS, TREES, ROOTS, UNDERGROWTH, ROCK, OVERHANGING BRANCHES AND OTHER OBSTRUCTIONS UPON, OVER AND UNDER THE UTILITY EASEMENTS AND THE ADJACENT PROPERTY ANY UTILITY COMPANY OR PUBLIC PROVIDER THAT CAUSES DAMAGE TO THE PROPERTY SHALL BE RESPONSIBLE TO RESTORE THE DISTURBED AREA AS NEARLY AS POSSIBLE TO ITS PRIOR FORMER CONDITION.

THE UNDERSIGNED DOES HEREBY FURTHER GRANT AND PROCLAIMS THAT THE COMMON GROUND AND EASEMENTS SHOWN ON THIS PLAT ARE FOR THE PURPOSE OF PERMITTING THE CONSTRUCTION, OPERATION, AND MAINTENANCE OF SANITARY SEWERS, STORM SEWERS, GAS LINES, WATER LINES, STORM SEWERS, ELECTRIC POWER LINES, CABLE TELEVISION LINES, TELECOMMUNICATION LINES, AND EQUIPMENT RELATED THERETO. SAID UTILITY EASEMENTS ARE HEREBY GRANTED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI, PUBLIC WATER SUPPLY DISTRICT NO. 2, CUIVRE RIVER ELECTRIC COOPERATIVE, INC., SPIRE ENERGY COMPANY, CHARTER CABLE COMPANY, CENTURYLINK TELEPHONE COMPANY, AND TO ALL OTHER PUBLIC UTILITY PROVIDERS AS THEIR INTEREST MAY APPEAR, AND THEIR SUCCESSORS AND ASSIGNS, FOR THE PURPOSE OF INSTALLING, OPERATING, AND MAINTAINING SUCH PUBLIC UTILITIES, AND RELATED EQUIPMENT.

THE AREAS OF LAND DESIGNATED HEREON AS "COMMON GROUND A, UTILITY EASEMENT AND RETENTION AREA", "COMMON GROUND B, UTILITY EASEMENT AND RETENTION/PRIVATE PARK AREA", "COMMON GROUND C AND UTILITY EASEMENT", AND "COMMON GROUND D AND UTILITY EASEMENT", ARE NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC, BUT WILL BE CONVEYED TO THE WINDSOR PARK HOMEOWNERS ASSOCIATION INC., VIA GENERAL WARRANTY DEED OF EVEN DATE HEREWITH, FOR THE USE AND ENJOYMENT OF SAID WINDSOR PARK HOMEOWNERS ASSOCIATION INC., ITS SUCCESSORS AND ASSIGNS, AND THE LOT OWNERS, AS MORE FULLY PROVIDED FOR IN THE DECLARATION OF EASEMENTS, COVENANTS AND CONDITIONS FOR THE WINDSOR PARK HOMEOWNERS ASSOCIATION, RECORDED IN BOOK _____ PAGE _____ AS AMENDED FROM TIME TO TIME, IN THE OFFICE OF THE RECORDER OF DEEDS, ST. CHARLES COUNTY, MISSOURI. SAID COMMON GROUND, RETENTION AND PARK AREA, AND UTILITY EASEMENT SHALL BE MAINTAINED BY THE WINDSOR PARK HOMEOWNERS ASSOCIATION INC.

ALL LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN AN INSTRUMENT FILED IN BOOK _____ PAGE _____ AS AMENDED FROM TIME TO TIME, IN THE ST. CHARLES COUNTY RECORDER OF DEEDS OFFICE, ST. CHARLES, MISSOURI.

THE PRIVATE RECREATIONAL AMENITIES SHALL BE RESTRICTED FOR RECREATIONAL PURPOSES BY RECORDED COVENANT WHICH RUNS WITH THE LAND IN FAVOR OF THE FUTURE OWNERS OF THE PROPERTY AND WHICH CANNOT BE DEFEATED OR ELIMINATED WITHOUT THE CONSENT OF THE CITY.

THE SIGHT TRIANGLE EASEMENTS AS SHOWN HONEYCOMB HATCHED ARE HEREBY GRANTED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI FOR THE PURPOSE OF ENSURING AND PROTECTING THE CLEAR AND UNOBSTRUCTED VIEW OF MOTORISTS ON AND ENTERING THE ADJACENT ROADWAY. NO PART OF SAID EASEMENT SHALL BE BUILT ON WITH ANY STRUCTURE (INCLUDING SIGNS, FENCES OR POLES) OR PLANTING (INCLUDING ANY TREES, SHRUBS, ORNAMENTAL GRASS, OR WEEDS) IN ANY MANOR WHATSOEVER, NOR SHALL THE GRADE OF THE LAND WITHIN THE EASEMENT BE CHANGED, UNLESS EXPRESSLY APPROVED BY THE CITY OF LAKE SAINT LOUIS. ANY STRUCTURE OR PLANTING APPROVED BY THE CITY OF LAKE SAINT LOUIS SHALL BE MAINTAINED TO PROVIDE SIGHT DISTANCE. PLANTINGS WITH A MAXIMUM HEIGHT OF 18 INCHES OR LESS ARE ALLOWED AND DO NOT REQUIRE PRIOR APPROVAL. ANY STRUCTURES, PLANTS OR GRADING WHICH IS NOT APPROVED BY THE CITY OF LAKE SAINT LOUIS, OR WHICH IS NOT MAINTAINED, SHALL BE REMOVED OR CORRECTED.

THE SNOW EASEMENTS, AS SHOWN DOT HATCHED , ARE HEREBY DEDICATED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI, THEIR SUCCESSORS AND ASSIGNS FOR THE PURPOSE OF TEMPORARY STORAGE OF EXCESS SNOW REMOVED FROM THE ROADWAYS AND SIDEWALKS, UNTIL SUCH TIME THAT SAID SNOW NATURALLY SELTS. PROPERTY OWNERS SHALL NOT CONSTRUCT IMPROVEMENTS OF ANY KIND WITHIN THE SNOW EASEMENTS WITHOUT AN ENCROACHMENT LICENSE ISSUED BY THE CITY OF LAKE SAINT LOUIS.

THE UNDERSIGNED FURTHER DESIGNATES AND PROCLAIMS THAT ALL COMMON GROUND AREAS INCLUDING CUL-DE-SAC ISLANDS, DIVIDED STREET ISLANDS AND MEDIAN STRIPS SHALL BE SUBJECT TO A GENERAL UTILITY EASEMENT GRANTED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI FOR ACCESS AND MAINTENANCE OF PUBLIC IMPROVEMENTS.

THE BUILDING LINES SHOWN ON THE ABOVE PLAT ARE HEREBY ESTABLISHED.

ALL TAXES WHICH ARE DUE AND PAYABLE AGAINST THIS PROPERTY HAVE BEEN PAID IN FULL.

WINDSOR PARK, L.L.C.

BY: _____
 PRINT NAME: _____
 TITLE: _____
 DATE: _____

NOTARY FOR WINDSOR PARK, L.L.C.

STATE OF _____)
 COUNTY OF _____) SS
 ON THIS _____ DAY OF _____, 20____, BEFORE ME APPEARED FREDERICK H. STONE, WHO BEING BY ME DULY SWORN, DID SAY THAT HE IS AN AUTHORIZED AGENT OF WINDSOR PARK, L.L.C., A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MISSOURI, AND THAT THE FOREGOING INSTRUMENT WAS SIGNED ON BEHALF OF SAID LIMITED LIABILITY COMPANY BY AUTHORITY OF ITS MEMBERS AND THAT SAID AUTHORIZED AGENT, DECLARED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.
 IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND YEAR LAST ABOVE WRITTEN, IN THE STATE AND COUNTY FIRST ABOVE WRITTEN.
 NOTARY PUBLIC: _____
 PRINT NAME: _____
 MY COMMISSION EXPIRES: _____

LENDER FOR WINDSOR PARK, L.L.C.

THE UNDERSIGNED HOLDER OR LEGAL OWNER OF NOTES SECURED BY A DEED OF TRUST RECORDED IN BOOK 7246, PAGE 2499 OF THE ST. CHARLES COUNTY RECORDS HEREBY JOINS IN AND APPROVES IN EVERY DETAIL, THIS SUBDIVISION PLAT OF "WINDSOR PARK PLAT ONE".
 IN WITNESS WHEREOF, SAID HOLDER OR LEGAL OWNER HAS SIGNED AND SEALED THIS SUBDIVISION PLAT THIS _____ DAY OF _____, 20____.
 LENDER: _____
 PRINT NAME: _____
 TITLE: _____
 BY: _____)
 STATE OF _____) SS
 COUNTY OF _____)

ON THIS _____ DAY OF _____, 20____, BEFORE ME APPEARED _____ WHO BEING BY ME DULY SWORN, DID SAY THAT HE/SHE IS THE _____ OF AND EXISTING UNDER THE LAWS OF THE STATE OF _____ AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT THE SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS AND THAT SAID _____ DECLARED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND YEAR LAST ABOVE WRITTEN, IN THE STATE AND COUNTY FIRST ABOVE WRITTEN.

NOTARY PUBLIC: _____
 PRINT NAME: _____
 MY COMMISSION EXPIRES: _____

CITY CERTIFICATE

THIS FINAL PLAT RECEIVED _____ BY THE SECRETARY OF LAKE SAINT LOUIS PLANNING AND ZONING COMMISSION.
 APPROVED BY LAKE SAINT LOUIS PLANNING AND ZONING COMMISSION.
 CHAIRMAN: _____
 PRINT NAME: _____
 THIS FINAL PLAT APPROVED BY THE CITY OF LAKE SAINT LOUIS.

MAYOR: _____
 PRINT NAME: _____
 CITY CLERK: _____
 PRINT NAME: _____

TITLE COMMITMENT NOTES

- THIS PROPERTY IS A PORTION OF PROPERTY REFERENCED IN A TITLE COMMITMENT ISSUED BY TITLE PARTNERS AGENCY, LLC ON BEHALF OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 19-253965-KEE WITH AN EFFECTIVE DATE OF NOVEMBER 14, 2019. THE SURVEY ON WHICH IT IS BASED ARE SUBJECT TO THE FOLLOWING SURVEY RELATED CONDITIONS AND EXCEPTIONS AS LISTED IN SCHEDULE B - SECTION 2 OF THE ABOVE MENTIONED TITLE COMMITMENT.
- ITEM 1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY. NO COMMENT BY LAND SURVEYOR.
 - ITEM 2A. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.
 - ITEM 2B. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.
 - ITEM 2C. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY. NO COMMENT BY LAND SURVEYOR.
 - ITEM 2D. ANY LIEN, OR RIGHT TO LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW, AND NOT SHOWN BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.
 - ITEM 3. TAXES OR SPECIAL ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.
 - ITEM 4. THE LIEN OF TAXES FOR THE YEAR 2017 AND THEREAFTER. NO COMMENT BY LAND SURVEYOR.
 - ITEM 5. SUBDIVISION AND/OR CONDOMINIUM ASSESSMENTS, IF ANY. NO COMMENT BY LAND SURVEYOR.
 - ITEM 6. SEWER ASSESSMENTS, IF ANY. NO COMMENT BY LAND SURVEYOR.
 - ITEM 7. RIGHT OF WAY TO STATE OF MISSOURI ACCORDING TO INSTRUMENT RECORDED IN BOOK 179 PAGE 9 AND BOOK 179 PAGE 10 OF THE ST. CHARLES COUNTY RECORDS. DOES NOT AFFECT THE SUBJECT PROPERTY. ADDITIONAL RIGHT-OF-WAY HAS BEEN GRANTED TO THE STATE OF MISSOURI SINCE THIS ORIGINAL GRANT.
 - ITEM 8. RIGHT OF WAY OF FREYMUTH ROAD AS ESTABLISHED AND USED. LOCATED AS SHOWN ON THIS SURVEY DRAWING.
 - ITEM 9. NO RIGHT OF DIRECT ACCESS BETWEEN THE HIGHWAY NOW KNOWN AS INTERSTATE ROUTE 64 AND GRANTOR'S ABUTTING LAND IN DEED BOOK 4537 PAGE 1288. BOOK 4537 PAGE 1288 AFFECTS THE SUBJECT PROPERTY AND IS LOCATED AS SHOWN HEREOF.
 - ITEM 10. EASEMENTS GRANTED TO PUBLIC WATER SUPPLY DISTRICT NO. 2 RECORDED IN BOOK 4932 PAGE 1228 AND BOOK 4932 PAGE 1251 OF THE ST. CHARLES COUNTY RECORDS.
 BOOK 4932 PAGE 1228 AFFECTS SUBJECT PROPERTY AND IS LOCATED AS SHOWN HEREOF. INSTRUMENT ALSO CONTAINS A TEMPORARY CONSTRUCTION EASEMENT WHICH IS NOT SHOWN HEREOF. BOOK 4932 PAGE 1251 AFFECTS SUBJECT PROPERTY AND IS LOCATED AS SHOWN HEREOF. INSTRUMENT ALSO CONTAINS A TEMPORARY CONSTRUCTION EASEMENT WHICH IS NOT SHOWN HEREOF.
 - ITEM 11. EASEMENT GRANTED TO UNION ELECTRIC CO. RECORDED IN BOOK 1344 PAGE 475 OF THE ST. CHARLES COUNTY RECORDS. MAY AFFECT SUBJECT PROPERTY. ACCORDING TO EMAIL MESSAGE FROM AMEREN DATED 8-17-2017, AMEREN DOES NOT HAVE FACILITIES ON SUBJECT PROPERTY. HOWEVER, AMEREN CLAIMS THERE IS THE POSSIBILITY THAT FACILITIES AND EASEMENTS THEREOF COULD HAVE BEEN TRANSFERRED TO CUIVRE RIVER ELECTRIC COOPERATIVE AT SOME POINT. NEITHER AMEREN OR CUIVRE RIVER COULD PROVIDE OR PRODUCE DOCUMENTATION OF SUCH A TRANSFER. ACCORDING TO AN EMAIL MESSAGE FROM CUIVRE RIVER ELECTRIC COOPERATIVE, CUIVRE RIVER CLAIMS A 30 FEET WIDE PRESCRIPTIVE EASEMENT ON OVERHEAD FACILITIES AND A 15 FEET WIDE EASEMENT ON UNDERGROUND FACILITIES. SAID PRESCRIPTIVE EASEMENTS ARE LOCATED AS SHOWN HEREOF. A PORTION OF THE EASEMENT WAS VACATED BY DEED BOOK 7107 PAGE 1547.
 - ITEM 12. UTILITY EASEMENT GRANTED TO CITY OF O'FALLON ACCORDING TO INSTRUMENT RECORDED IN BOOK 994 PAGE 1284 OF THE ST. CHARLES COUNTY RECORDS. AFFECTS SUBJECT PROPERTY. DOCUMENT CONTAINS VAGUE DIMENSIONS. THE APPROXIMATE LOCATION OF SAID EASEMENT IS SHOWN HEREOF. INSTRUMENT ALSO CONTAINS A TEMPORARY CONSTRUCTION EASEMENT WHICH IS NOT SHOWN HEREOF.
 - ITEM 13. TREE TRIMMING PERMIT WITH MISSOURI EDISON COMPANY ACCORDING TO INSTRUMENT RECORDED IN BOOK 534 PAGE 998 OF THE ST. CHARLES COUNTY RECORDS. DESCRIPTION IS VAGUE AND LOCATION CANNOT BE DETERMINED.
 - ITEM 14. DEEDS, EASEMENTS AND ABUTTER'S RIGHTS WITH THE STATE OF MISSOURI ACTING BY AND THROUGH THE STATE HIGHWAY COMMISSION OF MISSOURI ACCORDING TO INSTRUMENT RECORDED IN BOOK 466 PAGE 630, BOOK 466 PAGE 631, BOOK 468 PAGE 243, BOOK 468 PAGE 245, BOOK 470 PAGE 133 AND BOOK 470 PAGE 151 OF THE ST. CHARLES COUNTY RECORDS.
 BOOK 466 PAGE 630 DOES NOT AFFECT THE SUBJECT PROPERTY.
 BOOK 466 PAGE 631 DOES NOT AFFECT THE SUBJECT PROPERTY.
 BOOK 468 PAGE 243 DOES NOT AFFECT THE SUBJECT PROPERTY.
 BOOK 468 PAGE 245 DOES NOT AFFECT THE SUBJECT PROPERTY.
 BOOK 470 PAGE 133 DOES NOT AFFECT THE SUBJECT PROPERTY.
 BOOK 470 PAGE 151 DOES NOT AFFECT THE SUBJECT PROPERTY. ADDITIONAL RIGHT-OF-WAY HAS BEEN GRANTED TO THE STATE OF MISSOURI SINCE THIS ORIGINAL GRANT. THE EASEMENTS IN THIS DOCUMENT DO AFFECT THE SUBJECT PROPERTY.
 - ITEM 15. ELECTRIC LINE EASEMENTS GRANTED TO MISSOURI EDISON ACCORDING TO INSTRUMENT RECORDED IN BOOK 252 PAGE 429 AND BOOK 252 PAGE 431 OF THE ST. CHARLES COUNTY RECORDS. BOOK 252 PAGE 429 DOES NOT AFFECT THE SUBJECT PROPERTY. THIS EASEMENT LIES ALONG THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 40-61 AS ESTABLISHED AT THE TIME THE EASEMENT DOCUMENT WAS CREATED. BOOK 252 PAGE 431 DOES NOT AFFECT SUBJECT PROPERTY. ACCORDING TO EMAIL MESSAGE FROM AMEREN, DATED 08-16-2017, THIS EASEMENT LIKELY LIES ON THE OPPOSITE SIDE OF MISSOURI 40-61 FROM SUBJECT PROPERTY.
 - ITEM 16. RELEASE OF EASEMENT RIGHTS BY CUIVRE RIVER ELECTRIC COOPERATIVE, INC. ACCORDING TO INSTRUMENT RECORDED IN BOOK 7107 PAGE 1547 OF THE ST. CHARLES COUNTY RECORDS. AFFECTS THE SUBJECT PROPERTY AND IS LOCATED AS SHOWN ON THIS SURVEY DRAWING.
 - ITEM 17. TERMS AND PROVISIONS, CONDITIONS AND EASEMENTS DESCRIBED UNDER GENERAL WARRANTY DEED BY AND BETWEEN KAPB LLC LAND SERIES AND CITY OF LAKE SAINT LOUIS, MISSOURI ACCORDING TO INSTRUMENT RECORDED APRIL 2, 2019 IN BOOK 7054 PAGE 632 OF THE ST. CHARLES COUNTY RECORDS. AFFECTS THE SUBJECT PROPERTY AND IS LOCATED AS SHOWN ON THIS SURVEY DRAWING.
 - ITEM 18. ANY REFERENCE TO ACREAGE CONTENT OF THE LAND DESCRIBED IN SCHEDULE A HEREIN, IS SHOWN AS IT APPEARS OF RECORD AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. NO REPRESENTATION AS TO THE ACCURACY THEREOF IS ASSUMED HEREUUNDER. NO COMMENT BY LAND SURVEYOR.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT WE, BAX ENGINEERING COMPANY, HAVE DURING MARCH, 2020, BY ORDER OF WINDSOR PARK, LLC, EXECUTED BOUNDARY SURVEY AND PREPARED A PLAT ON AND BEING PART OF U.S. SURVEY 825, TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI AND THE RESULTS ARE SHOWN HEREOF. THIS BOUNDARY SURVEY WAS EXECUTED IN ACCORDANCE WITH CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND PROFESSIONAL LANDSCAPE ARCHITECTS UNDER THE RULES OF THE DEPARTMENT OF COMMERCE AND INSURANCE (20 CSR 2030-16) AND MEETS THE ACCURACY STANDARDS SET FORTH FOR A TYPE "URBAN" PROPERTY.

BAX ENGINEERING COMPANY, INC.
 MARK E. COLLINS
 MISSOURI PROFESSIONAL LAND SURVEYOR #200600173



AS SURVEYED LAND DESCRIPTION

A TRACT OF LAND BEING PART OF U.S. SURVEY 825, TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCING AT THE INTERSECTION OF THE NORTH LINE OF "ESTATES OF HAWK RIDGE", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 37 PAGES 344-348 OF THE ST. CHARLES COUNTY RECORDS WITH THE EAST LINE OF COMMON GROUND "A" OF "HAWK RIDGE ON THE GREEN PLAT ONE", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 36 PAGES 51-53 OF SAID RECORDS; THENCE ALONG SAID EAST LINE OF COMMON GROUND "A" OF "HAWK RIDGE ON THE GREEN PLAT ONE", NORTH 00 DEGREES 02 MINUTES 43 SECONDS EAST 113.01 FEET TO THE SOUTHEAST CORNER OF LOT 46 OF "OAK BLUFF PRESERVE", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 20 PAGES 163-165 OF SAID RECORDS; THENCE ALONG THE EAST LINE OF SAID LOT 46 OF "OAK BLUFF PRESERVE", NORTH 00 DEGREES 03 MINUTES 53 SECONDS WEST 773.85 FEET TO THE SOUTHEAST RIGHT-OF-WAY LINE OF OAK BLUFF DRIVE, FORMERLY KNOWN AS WOODLAKE DRIVE, VARIABLE WIDTH, PRIVATE, AS ESTABLISHED ON SAID PLAT OF "OAK BLUFF PRESERVE", THENCE ALONG SAID SOUTHEAST RIGHT-OF-WAY LINE OF OAK BLUFF DRIVE, THE FOLLOWING COURSES AND DISTANCES, NORTH 46 DEGREES 35 MINUTES 02 SECONDS EAST 436.84 FEET; AND SOUTH 86 DEGREES 23 MINUTES 52 SECONDS EAST 309.52 FEET TO THE ACTUAL POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE CONTINUING ALONG SAID SOUTHEAST RIGHT-OF-WAY LINE OF OAK BLUFF DRIVE, THE FOLLOWING COURSES AND DISTANCES: NORTH 21 DEGREES 41 MINUTES 47 SECONDS EAST 234.68 FEET; AND NORTH 89 DEGREES 36 MINUTES 02 SECONDS EAST 144.04 FEET TO A POINT ON THE SOUTHWEST RIGHT-OF-WAY LINE OF INTERSTATE ROUTE 64, AS ESTABLISHED BY THE DEED RECORDED IN BOOK 4537 PAGE 1288 OF SAID RECORDS AND SHOWN ON A SURVEY BY THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION RECORDED IN SURVEY RECORD BOOK 25 PAGES 196-199 OF SAID RECORDS; SAID POINT BEING 200.00 FEET PERPENDICULARLY DISTANT TO SOUTH LAKE ST. LOUIS PARTNERS, LLC ACCORDING TO THE DEED THEREOF RECORDED IN BOOK 3963 PAGE 20 OF SAID RECORDS; THENCE ALONG SAID NORTH LINE OF SOUTH LAKE ST. LOUIS PARTNERS, LLC PROPERTY, NORTH 89 DEGREES 30 MINUTES 45 SECONDS WEST 208.22 FEET TO A POINT ON THE WEST LINE OF SAID SOUTH LAKE ST. LOUIS PARTNERS, LLC PROPERTY; THENCE ALONG SAID WEST LINE OF THE SOUTH LAKE ST. LOUIS PARTNERS, LLC PROPERTY, SOUTH 00 DEGREES 07 MINUTES 47 SECONDS WEST 131.10 FEET TO THE AFOREMENTIONED NORTH LINE OF "ESTATES OF HAWK RIDGE", THENCE ALONG SAID NORTH LINE OF "ESTATES OF HAWK RIDGE", SOUTH 89 DEGREES 37 MINUTES 24 SECONDS WEST 112.15 FEET; THENCE LEAVING SAID NORTH LINE OF "ESTATES OF HAWK RIDGE", NORTH 11 DEGREES 22 MINUTES 08 SECONDS WEST 367.83 FEET; NORTH 02 DEGREES 05 MINUTES 17 SECONDS WEST 86.05 FEET; NORTH 00 DEGREES 03 MINUTES 53 SECONDS WEST 258.00 FEET; NORTH 38 DEGREES 01 MINUTES 05 SECONDS EAST 160.96 FEET; NORTH 20 DEGREES 12 MINUTES 07 SECONDS EAST 56.41 FEET; NORTH 03 DEGREES 36 MINUTES 08 SECONDS EAST 104.00 FEET; SOUTH 86 DEGREES 23 MINUTES 52 SECONDS EAST 110.00 FEET; ALONG A CURVE TO THE RIGHT WHOSE CHORD BEARS SOUTH 41 DEGREES 23 MINUTES 52 SECONDS EAST 35.36 FEET AND WHOSE RADIUS POINT BEARS SOUTH 03 DEGREES 36 MINUTES 08 SECONDS WEST 25.00 FEET FROM THE LAST MENTIONED POINT, AN ARC DISTANCE OF 39.07 FEET; SOUTH 03 DEGREES 36 MINUTES 08 SECONDS WEST 113.38 FEET; SOUTH 86 DEGREES 23 MINUTES 52 SECONDS EAST 50.00 FEET; SOUTH 84 DEGREES 57 MINUTES 40 SECONDS EAST 92.48 FEET; SOUTH 57 DEGREES 26 MINUTES 12 SECONDS EAST 73.76 FEET; SOUTH 52 DEGREES 15 MINUTES 34 SECONDS EAST 190.00 FEET; NORTH 57 DEGREES 44 MINUTES 27 SECONDS EAST 352.94 FEET; NORTH 32 DEGREES 34 MINUTES 50 SECONDS EAST 53.33 FEET; NORTH 52 DEGREES 15 MINUTES 33 SECONDS WEST 129.69 FEET; SOUTH 37 DEGREES 44 MINUTES 27 SECONDS WEST 86.00 FEET; NORTH 52 DEGREES 15 MINUTES 33 SECONDS WEST 55.00 FEET; SOUTH 37 DEGREES 44 MINUTES 26 SECONDS WEST 136.00 FEET; NORTH 52 DEGREES 15 MINUTES 34 SECONDS WEST 30.80 FEET; ALONG A CURVE TO THE LEFT WHOSE CHORD BEARS NORTH 62 DEGREES 52 MINUTES 39 SECONDS WEST 119.77 FEET AND WHOSE RADIUS POINT BEARS SOUTH 37 DEGREES 44 MINUTES 26 SECONDS WEST 325.00 FEET FROM THE LAST MENTIONED POINT, AN ARC DISTANCE OF 120.46 FEET; NORTH 03 DEGREES 36 MINUTES 08 SECONDS EAST 135.00 FEET; NORTH 80 DEGREES 56 MINUTES 51 SECONDS WEST 86.39 FEET; AND NORTH 86 DEGREES 23 MINUTES 52 SECONDS WEST 97.00 FEET TO THE POINT OF BEGINNING, CONTAINING 29.457 ACRES.

GENERAL NOTES

1. BASIS OF BEARINGS IS THE "MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE" (GRID NORTH).
2. ALL TIES SHOWN HEREOF ARE PERPENDICULAR TO THE PROPERTY LINES TO WHICH THEY ARE TIED UNLESS NOTED OTHERWISE.
3. THIS PROPERTY IS A PORTION OF PROPERTY CURRENTLY VESTED IN THE NAME OF WINDSOR PARK, LLC BY DEEDS RECORDED IN BOOK 7246 PAGE 2494 OF THE ST. CHARLES COUNTY RECORDS.
4. THIS PROPERTY IS A PORTION OF PROPERTY CURRENTLY LISTED UNDER THE FOLLOWING PARCEL LOCATOR NUMBERS, 4-0060-0825-00-0002.0000000, 4-0060-0825-00-0002.4000000, AND 4-0060-0825-00-0002.6000000 IN THE ST. CHARLES COUNTY ASSESSORS OFFICE.
5. THIS PLAT CONTAINS 29.457 ACRES, 26 LOTS, AND 4 COMMON GROUND AREAS.
6. ALL DIRECTIONS ALONG PROPERTY LINES ARE AS SURVEYED UNLESS NOTED OTHERWISE.
7. WE HAVE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND IN ST. CHARLES COUNTY, MISSOURI, BY SCALING THE PROPERTY IN REFERENCE TO THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0220G, COMMUNITY PANEL NUMBER (CITY OF LAKE SAINT LOUIS, 290888 0220 G WITH AN EFFECTIVE DATE OF JANUARY 20, 2016), BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONE:
 *ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
8. THE LEGAL DESCRIPTION LABELED HEREON "AS-SURVEYED" IS INTENDING TO DESCRIBE THE SAME PROPERTY AS COMPRISED BY THE LEGAL DESCRIPTIONS FOR PARCEL 1, PARCEL 1A AND PARCEL 2 OF THE REFERENCED TITLE COMMITMENT. THE "AS-SURVEYED" LEGAL DESCRIPTION REFLECTS THE ACTUAL MEASUREMENTS MADE BY THE LAND SURVEYOR DURING THE COURSE OF THIS SURVEY.
9. THIS PROPERTY IS ZONED "SR-2", SINGLE FAMILY RESIDENTIAL, BY THE CITY OF LAKE SAINT LOUIS, MISSOURI. THE SETBACK RESTRICTIONS FOR "SR-2", SINGLE FAMILY RESIDENTIAL ARE AS FOLLOWS;
 FRONT YARD: 25'
 SIDE YARD: 8'
 REAR YARD: 25' OR 20% OF THE LOT DEPTH, WHICHEVER IS GREATER.
10. THE ADDRESSES SHOWN HEREIN, , WERE PROVIDED TO BAX ENGINEERING BY THE ST. CHARLES COUNTY DISPATCH AND ALARM; BAX ENGINEERING MAKES NO CERTIFICATION AS TO THE CORRECTNESS OR PERFORMANCE OF SAID ADDRESSES.
11. "●" DENOTES THAT A SEMI-PERMANENT MONUMENT TO BE SET NO LATER THAN TWELVE (12) MONTHS AFTER THE RECORDING OF THIS PLAT.
 "▲" DENOTES THAT A PERMANENT MONUMENT TO BE SET NO LATER THAN TWELVE (12) MONTHS AFTER THE RECORDING OF THIS PLAT.

WINDSOR PARK PLAT ONE

PREPARED FOR:
 WINDSOR PARK, LLC
 10328 LAKE LAKE BLUFF DRIVE
 ST. LOUIS, MISSOURI 63123
 (314) 667-9400

DISCLAIMER OF RESPONSIBILITY
 I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

REVISIONS	
DATE	CITY COMMENTS
07/16/20	

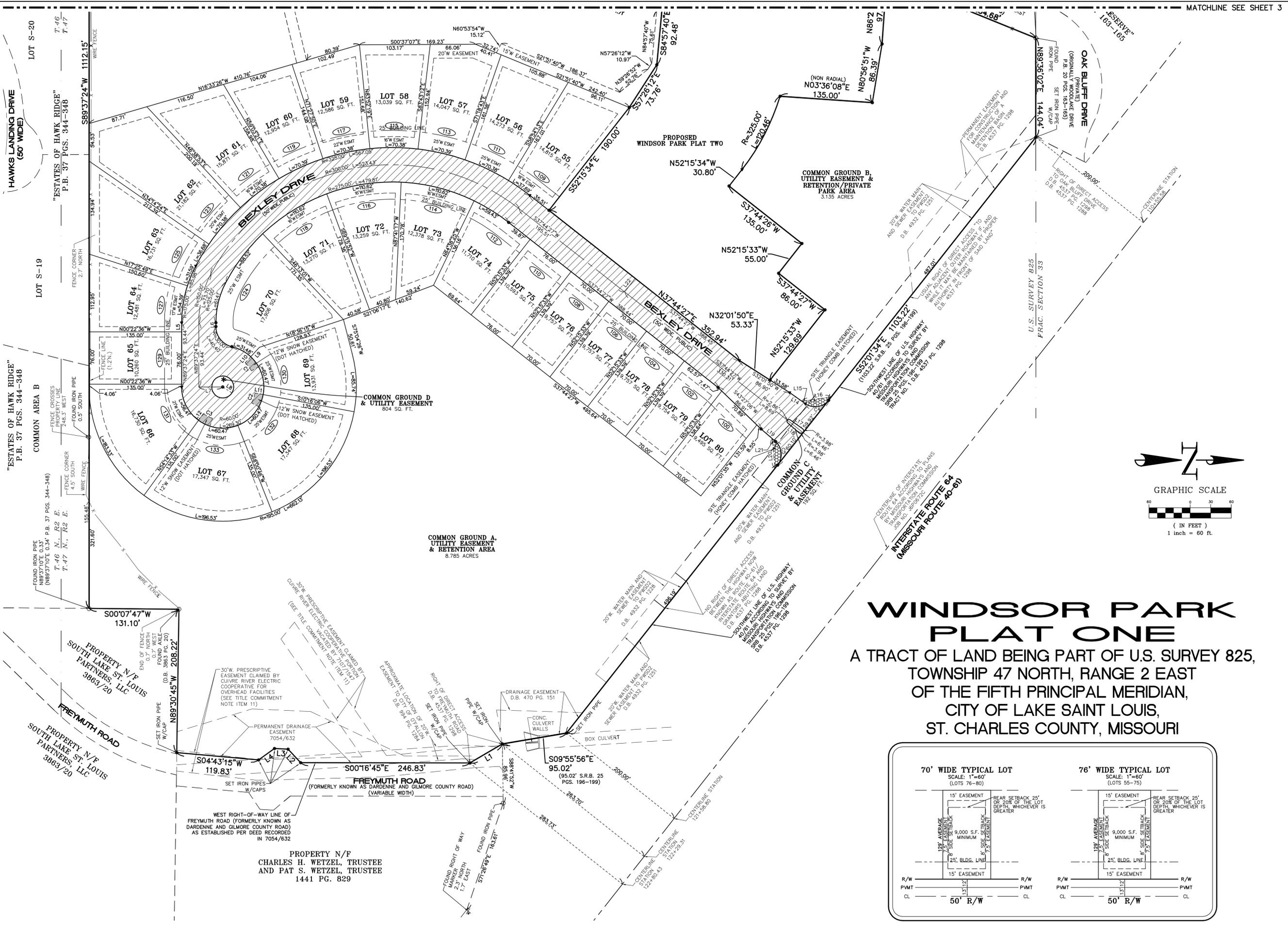


ENGINEERING PLANNING SURVEYING
 221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

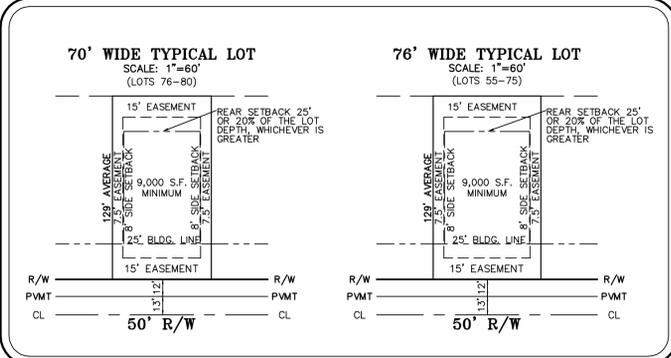
03/20/2020
 DATE
 16-16945D
 PROJECT NUMBER
 1 of 3
 SHEET OF
 16945D REC 1
 FILE NAME
 JLH MEC
 DRAWN CHECKED
 11/2019
 DATE DONE IN FIELD

THIS PLAT CONTAINS 29.457 ACRES.



WINDSOR PARK PLAT ONE

A TRACT OF LAND BEING PART OF U.S. SURVEY 825,
TOWNSHIP 47 NORTH, RANGE 2 EAST
OF THE FIFTH PRINCIPAL MERIDIAN,
CITY OF LAKE SAINT LOUIS,
ST. CHARLES COUNTY, MISSOURI



**WINDSOR PARK
PLAT ONE**

PREPARED FOR:
WINDSOR PARK, LLC
10328 LAKE BLUFF DRIVE
ST. LOUIS, MISSOURI 63123
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**ENGINEERING
PLANNING
SURVEYING**

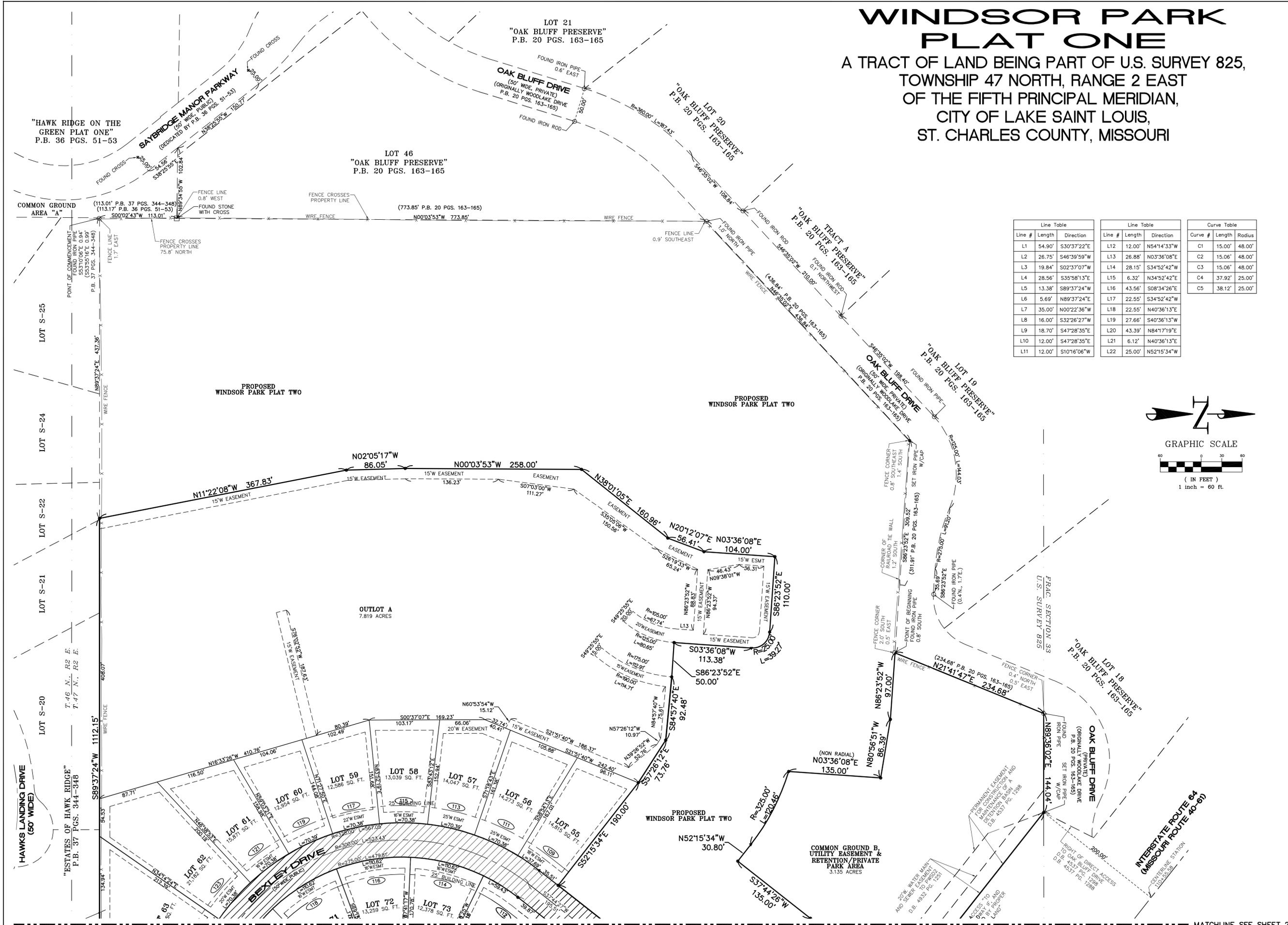
221 Point West Blvd.
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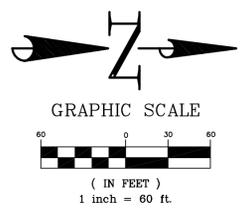
03/20/2020
DATE
16-16945D
PROJECT NUMBER
2 of 3
SHEET OF
16945D REC 1
FILE NAME
JLH MEC
DRAWN CHECKED
11/2019
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WINDSOR PARK PLAT ONE

A TRACT OF LAND BEING PART OF U.S. SURVEY 825,
TOWNSHIP 47 NORTH, RANGE 2 EAST
OF THE FIFTH PRINCIPAL MERIDIAN,
CITY OF LAKE SAINT LOUIS,
ST. CHARLES COUNTY, MISSOURI



Line Table			Line Table			Curve Table		
Line #	Length	Direction	Line #	Length	Direction	Curve #	Length	Radius
L1	54.90'	S30°37'22"E	L12	12.00'	N54°14'33"W	C1	15.00'	48.00'
L2	26.75'	S46°39'59"W	L13	26.88'	N03°36'08"E	C2	15.06'	48.00'
L3	19.84'	S02°37'07"W	L14	28.15'	S34°52'42"W	C3	15.06'	48.00'
L4	28.56'	S35°58'13"E	L15	6.32'	N34°52'42"E	C4	37.92'	25.00'
L5	13.38'	S89°37'24"W	L16	43.56'	S08°34'26"E	C5	38.12'	25.00'
L6	5.69'	N89°37'24"E	L17	22.55'	S34°52'42"W			
L7	35.00'	N00°22'36"W	L18	22.55'	N40°36'13"E			
L8	16.00'	S32°26'27"W	L19	27.66'	S40°36'13"W			
L9	18.70'	S47°28'35"E	L20	43.39'	N84°17'19"E			
L10	12.00'	S47°28'35"E	L21	6.12'	N40°36'13"E			
L11	12.00'	S10°16'06"W	L22	25.00'	N52°15'34"W			



WINDSOR PARK
PLAT ONE

PREPARED FOR:
WINDSOR PARK, LLC
10328 LAKE BLUFF DRIVE
ST. LOUIS, MISSOURI 63123
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DISCLAIMER OF RESPONSIBILITY
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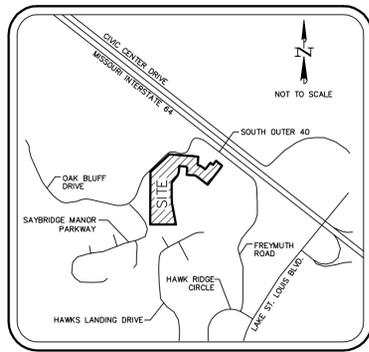


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16945D REC 1
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DATE DONE IN FIELD

MATCHLINE SEE SHEET 2



LOCATION MAP
NOT TO SCALE

OWNERS CERTIFICATION

WE, THE UNDERSIGNED OWNERS OF THE TRACT OF LAND HEREIN PLATTED AND FURTHER DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE, HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT, WHICH SUBDIVISION SHALL HEREAFTER BE KNOWN AS "WINDSOR PARK PLAT TWO".

THE UNDERSIGNED HEREBY DEDICATES BALMORAL GARDENS COURT AND CLEWER PARK COURT, TOGETHER WITH ALL ROUNDINGS LOCATED AT THE STREET INTERSECTIONS, WHICH FOR BETTER IDENTIFICATION ARE SHOWN HATCHED ON THIS PLAT, TO THE CITY OF LAKE SAINT LOUIS, MISSOURI, FOR PUBLIC USE FOREVER. THE UNDERSIGNED FURTHER DESIGNATES THESE STREETS AS UTILITY EASEMENTS FOR ALL PUBLIC UTILITIES AS THEIR INTEREST MAY APPEAR.

THE UNDERSIGNED OWNERS OF THE REAL ESTATE DESCRIBED HEREIN DO HEREBY GRANT AND DEDICATE THE AREAS SHOWN AS "EASEMENTS" AND "UTILITY EASEMENTS" LOCATED AS PERPETUAL NON-EXCLUSIVE UTILITY EASEMENTS FOR SANITARY SEWERS, STORM SEWERS, GAS LINES, WATER LINES, ELECTRIC LINES, COMMUNICATION LINES, OTHER PUBLIC UTILITY FACILITIES, AND ALL RELATED APPURTENANCES. THE PERPETUAL NON-EXCLUSIVE UTILITY EASEMENTS ARE HEREBY GRANTED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI, PUBLIC WATER SUPPLY DISTRICT NO. 2, CUIVRE RIVER ELECTRIC COOPERATIVE, INC., SPIRE ENERGY COMPANY, CHARTER CABLE COMPANY, CENTURYLINK TELEPHONE COMPANY, AND TO ALL OTHER PUBLIC UTILITY PROVIDERS AS THEIR INTEREST MAY APPEAR, AND THEIR SUCCESSORS AND ASSIGNS, FOR THE INSTALLATION, USE, PATROL, ACCESS, INSPECTION, MAINTENANCE, REPAIR, RELOCATION AND REPLACEMENT OF SANITARY SEWERS, STORM SEWERS, GAS LINES, WATER LINES, COMMUNICATION LINES, ELECTRIC LINES AND OTHER PUBLIC UTILITY FACILITIES, INCLUDING ALL RELATED APPURTENANCES AND IMPROVEMENTS, THE RIGHT OF TEMPORARY USE OF GROUND ADJACENT TO SAID UTILITY EASEMENTS, NOT OCCUPIED BY IMPROVEMENTS (LIMITED, HOWEVER, TO FIVE (5) FEET ON EITHER SIDE OF SAID EASEMENT) FOR THE EXCAVATION AND TEMPORARY STORAGE OF MATERIALS DURING THE INSTALLATION, INSPECTION, REPAIR, RELOCATION, OR REPLACEMENT OF SAID UTILITY FACILITIES, TOGETHER WITH ALL RIGHTS IMPLIED BY AND INCIDENTAL TO THE USE OF SAID UTILITY EASEMENTS, INCLUDING, WITHOUT LIMITATION, THE RIGHT OF INGRESS AND EGRESS TO AND FROM SUCH UTILITY EASEMENTS FROM ADJACENT PROPERTY, AND THE RIGHT TO TRIM, CONTROL, CUT AND REMOVE ANY AND ALL BRUSH, BUSHES, SAPPLINGS, TREES, ROOTS, UNDERGROWTH, ROCK, OVERHANGING BRANCHES AND OTHER OBSTRUCTIONS UPON, OVER AND UNDER THE UTILITY EASEMENTS AND THE ADJACENT PROPERTY, ANY UTILITY COMPANY OR PUBLIC PROVIDER THAT CAUSES DAMAGE TO THE PROPERTY SHALL BE RESPONSIBLE TO RESTORE THE DISTURBED AREA AS NEARLY AS POSSIBLE TO ITS PRIOR FORMER CONDITION.

ALL LOTS IN THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS SET FORTH IN AN INSTRUMENT FILED IN BOOK _____ PAGE _____ AS AMENDED FROM TIME TO TIME, IN THE ST. CHARLES COUNTY RECORDER OF DEEDS OFFICE, ST. CHARLES, MISSOURI.

THE PRIVATE RECREATIONAL AMENITIES SHALL BE RESTRICTED FOR RECREATIONAL PURPOSES BY RECORDED COVENANT WHICH RUNS WITH THE LAND IN FAVOR OF THE FUTURE OWNERS OF THE PROPERTY AND WHICH CANNOT BE DEFEATED OR ELIMINATED WITHOUT THE CONSENT OF THE CITY.

THE SIGHT TRIANGLE EASEMENTS AS SHOWN HONEYCOMB HATCHED ON THIS PLAT, ARE HEREBY GRANTED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI FOR THE PURPOSE OF ENSURING AND PROTECTING THE CLEAR AND UNOBSTRUCTED VIEW OF MOTORISTS ON AND ENTERING THE ADJACENT ROADWAY. NO PART OF SAID EASEMENT SHALL BE BUILT ON WITH ANY STRUCTURE (INCLUDING SIGNS, FENCES OR POLES) OR PLANTING (INCLUDING ANY TREES, SHRUBS, ORNAMENTAL GRASS, OR WEEDS) IN ANY MANNER WHATSOEVER, NOR SHALL THE GRADE OF THE LAND WITHIN THE EASEMENT BE CHANGED, UNLESS EXPRESSLY APPROVED BY THE CITY OF LAKE SAINT LOUIS. ANY STRUCTURE OR PLANTING APPROVED BY THE CITY OF LAKE SAINT LOUIS SHALL BE MAINTAINED TO PROVIDE SIGHT DISTANCE. PLANTINGS WITH A MAXIMUM HEIGHT OF 18 INCHES OR LESS ARE ALLOWED AND DO NOT REQUIRE PRIOR APPROVAL. ANY STRUCTURES, PLANTS OR GRADING WHICH IS NOT APPROVED BY THE CITY OF LAKE SAINT LOUIS, OR WHICH IS NOT MAINTAINED, SHALL BE REMOVED OR CORRECTED.

THE SNOW EASEMENTS, AS SHOWN DOT HATCHED ON THIS PLAT, ARE HEREBY DEDICATED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI, THEIR SUCCESSORS AND ASSIGNS FOR THE PURPOSE OF TEMPORARY STORAGE OF EXCESS SNOW REMOVED FROM THE ROADWAYS AND SIDEWALKS, UNTIL SUCH TIME THAT SAID SNOW NATURALLY MELTS. PROPERTY OWNERS SHALL NOT CONSTRUCT IMPROVEMENTS OF ANY KIND WITHIN THE SNOW EASEMENTS WITHOUT AN ENCROACHMENT LICENSE ISSUED BY THE CITY OF LAKE SAINT LOUIS.

THE UNDERSIGNED FURTHER DESIGNATES AND PROCLAIMS THAT ALL COMMON GROUND AREAS INCLUDING CUL-DE-SAC ISLANDS, DIVIDED STREET ISLANDS AND MEDIAN STRIPS SHALL BE SUBJECT TO A GENERAL UTILITY EASEMENT GRANTED TO THE CITY OF LAKE SAINT LOUIS, MISSOURI FOR ACCESS AND MAINTENANCE OF PUBLIC IMPROVEMENTS.

THE BUILDING LINES SHOWN ON THE ABOVE PLAT ARE HEREBY ESTABLISHED.

ALL TAXES WHICH ARE DUE AND PAYABLE AGAINST THIS PROPERTY HAVE BEEN PAID IN FULL.

WINDSOR PARK, L.L.C.

BY: _____

PRINT NAME: _____

TITLE: _____

DATE: _____

NOTARY FOR WINDSOR PARK, L.L.C.

STATE OF _____)
) SS
COUNTY OF _____)

ON THIS _____ DAY OF _____, 20____, BEFORE ME APPEARED FREDERICK H. STONE, WHO BEING BY ME DULY SWORN, DID SAY THAT HE IS AN AUTHORIZED AGENT OF WINDSOR PARK, L.L.C., A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF MISSOURI, AND THAT THE FOREGOING INSTRUMENT WAS SIGNED ON BEHALF OF SAID LIMITED LIABILITY COMPANY BY AUTHORITY OF ITS MEMBERS AND THAT SAID AUTHORIZED AGENT, DECLARED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND YEAR LAST ABOVE WRITTEN, IN THE STATE AND COUNTY FIRST ABOVE WRITTEN.

NOTARY PUBLIC: _____

PRINT NAME: _____

MY COMMISSION EXPIRES: _____

LENDER FOR WINDSOR PARK, L.L.C.

THE UNDERSIGNED HOLDER OR LEGAL OWNER OF NOTES SECURED BY A DEED OF TRUST RECORDED IN BOOK 7246, PAGE 2498 OF THE ST. CHARLES COUNTY RECORDS HEREBY JOINS IN AND APPROVES IN EVERY DETAIL, THIS SUBDIVISION PLAT OF "WINDSOR PARK PLAT TWO".

IN WITNESS WHEREOF, SAID HOLDER OR LEGAL OWNER HAS SIGNED AND SEALED THIS SUBDIVISION PLAT THIS _____ DAY OF _____, 20____.

LENDER: _____

PRINT NAME: _____

TITLE: _____

BY: _____

STATE OF _____)
) SS
COUNTY OF _____)

ON THIS _____ DAY OF _____, 20____, BEFORE ME APPEARED _____, WHO BEING BY ME DULY SWORN, DID SAY THAT HE/SHE IS THE _____ OF _____ A CORPORATION DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF _____ AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT THE SAID INSTRUMENT WAS SIGNED AND SEALED ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS AND THAT SAID _____ DECLARED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL ON THE DAY AND YEAR LAST ABOVE WRITTEN, IN THE STATE AND COUNTY FIRST ABOVE WRITTEN.

NOTARY PUBLIC: _____

PRINT NAME: _____

MY COMMISSION EXPIRES: _____

CITY CERTIFICATE

THIS FINAL PLAT RECEIVED _____ BY THE SECRETARY OF LAKE SAINT LOUIS PLANNING AND ZONING COMMISSION.

APPROVED BY LAKE SAINT LOUIS PLANNING AND ZONING COMMISSION.

CHAIRMAN _____

MEMBER _____

MEMBER _____

MEMBER _____

THIS FINAL PLAT APPROVED BY THE CITY OF LAKE SAINT LOUIS.

MAYOR _____

PRINT NAME: _____

CITY CLERK _____

PRINT NAME: _____

DATE: _____

PRINT NAME: _____

DATE: _____

WINDSOR PARK PLAT TWO

A TRACT OF LAND BEING PART OF U.S. SURVEY 825,
TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN,
CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI

TITLE COMMITMENT NOTES

THIS PROPERTY IS A PORTION OF PROPERTY REFERENCED IN A TITLE COMMITMENT ISSUED BY TITLE PARTNERS AGENCY, LLC ON BEHALF OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 19-253965-KEE WITH AN EFFECTIVE DATE OF NOVEMBER 14, 2019. THE SURVEY ON WHICH IT IS BASED ARE SUBJECT TO THE FOLLOWING SURVEY RELATED CONDITIONS AND EXCEPTIONS AS LISTED IN SCHEDULE B - SECTION 2 OF THE ABOVE MENTIONED TITLE COMMITMENT.

ITEM 1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY. NO COMMENT BY LAND SURVEYOR.

ITEM 2A. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.

ITEM 2B. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.

ITEM 2C. ENCROACHMENTS, OVERLAPS, BOUNDARY LINE DISPUTES OR OTHER MATTERS WHICH WOULD BE DISCLOSED BY AN ACCURATE SURVEY. NO COMMENT BY LAND SURVEYOR.

ITEM 2D. ANY LIEN, OR RIGHT TO LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW, AND NOT SHOWN BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.

ITEM 3. TAXES OR SPECIAL ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE PUBLIC RECORDS. NO COMMENT BY LAND SURVEYOR.

ITEM 4. THE LIEN OF TAXES FOR THE YEAR 2017 AND THEREAFTER. NO COMMENT BY LAND SURVEYOR.

ITEM 5. SUBDIVISION AND/OR CONDOMINIUM ASSESSMENTS, IF ANY. NO COMMENT BY LAND SURVEYOR.

ITEM 6. SEWER ASSESSMENTS, IF ANY. NO COMMENT BY LAND SURVEYOR.

ITEM 7. RIGHT OF WAY TO STATE OF MISSOURI ACCORDING TO INSTRUMENT RECORDED IN BOOK 179 PAGE 9 AND BOOK 179 PAGE 10 OF THE ST. CHARLES COUNTY RECORDS. DOES NOT AFFECT THE SUBJECT PROPERTY. ADDITIONAL RIGHT-OF-WAY HAS BEEN GRANTED TO THE STATE OF MISSOURI SINCE THIS ORIGINAL GRANT.

ITEM 8. RIGHT OF WAY OF FREYMUTH ROAD AS ESTABLISHED AND USED. LOCATED AS SHOWN ON THIS SURVEY DRAWING.

ITEM 9. NO RIGHT OF DIRECT ACCESS BETWEEN THE HIGHWAY NOW KNOWN AS INTERSTATE ROUTE 64 AND GRANTOR'S ABUTTING LAND IN DEED BOOK 4537 PAGE 1288. BOOK 4537 PAGE 1288 AFFECTS THE SUBJECT PROPERTY AND IS LOCATED AS SHOWN HEREON.

ITEM 10. EASEMENTS GRANTED TO PUBLIC WATER SUPPLY DISTRICT NO. 2 RECORDED IN BOOK 4932 PAGE 1228 AND BOOK 4932 PAGE 1251 OF THE ST. CHARLES COUNTY RECORDS.

BOOK 4932, PAGE 1228 DOES NOT AFFECT SUBJECT PROPERTY AND IS LOCATED AS SHOWN HEREON. INSTRUMENT ALSO CONTAINS A TEMPORARY CONSTRUCTION EASEMENT WHICH IS NOT SHOWN HEREON. BOOK 4932 PAGE 1251 DOES NOT AFFECT SUBJECT PROPERTY AND IS LOCATED AS SHOWN HEREON. INSTRUMENT ALSO CONTAINS A TEMPORARY CONSTRUCTION EASEMENT WHICH IS NOT SHOWN HEREON.

ITEM 11. EASEMENT GRANTED TO UNION ELECTRIC CO. RECORDED IN BOOK 1344 PAGE 475 OF THE ST. CHARLES COUNTY RECORDS. DOES NOT AFFECT SUBJECT PROPERTY. ACCORDING TO EMAIL MESSAGE FROM AMEREN DATED 8-17-2017, AMEREN DOES NOT HAVE FACILITIES ON SUBJECT PROPERTY. HOWEVER, AMEREN CLAIMS THERE IS THE POSSIBILITY THAT FACILITIES AND EASEMENTS THEREOF COULD HAVE BEEN TRANSFERRED TO CUIVRE RIVER ELECTRIC COOPERATIVE AT SOME POINT. NEITHER AMEREN OR CUIVRE RIVER COULD PROVIDE OR PRODUCE DOCUMENTATION OF SUCH A TRANSFER. ACCORDING TO AN EMAIL MESSAGE FROM CUIVRE RIVER ELECTRIC COOPERATIVE, CUIVRE RIVER CLAIMS A 30 FEET WIDE PRESCRIPTIVE EASEMENT ON OVERHEAD FACILITIES AND A 15 FEET WIDE EASEMENT ON UNDERGROUND FACILITIES. SAID PRESCRIPTIVE EASEMENTS ARE LOCATED AS SHOWN HEREON. A PORTION OF THE EASEMENT WAS VACATED BY DEED BOOK 7107 PAGE 1547.

ITEM 12. UTILITY EASEMENT GRANTED TO CITY OF O'FALLON ACCORDING TO INSTRUMENT RECORDED IN BOOK 994 PAGE 1284 OF THE ST. CHARLES COUNTY RECORDS. DOES NOT AFFECTS SUBJECT PROPERTY. DOCUMENT CONTAINS VAGUE DIMENSIONS. THE APPROXIMATE LOCATION OF SAID EASEMENT IS SHOWN HEREON. INSTRUMENT ALSO CONTAINS A TEMPORARY CONSTRUCTION EASEMENT WHICH IS NOT SHOWN HEREON.

ITEM 13. TREE TRIMMING PERMIT WITH MISSOURI EDISON COMPANY ACCORDING TO INSTRUMENT RECORDED IN BOOK 534 PAGE 998 OF THE ST. CHARLES COUNTY RECORDS. DESCRIPTION IS VAGUE AND CAN NOT DETERMINE LOCATION.

ITEM 14. DEEDS, EASEMENTS AND ABUTTER'S RIGHTS WITH THE STATE OF MISSOURI ACTING BY AND THROUGH THE STATE HIGHWAY COMMISSION OF MISSOURI ACCORDING TO INSTRUMENT RECORDED IN BOOK 466 PAGE 630, BOOK 466 PAGE 631, BOOK 468 PAGE 243, BOOK 468 PAGE 245, BOOK 470 PAGE 133 AND BOOK 470 PAGE 151 OF THE ST. CHARLES COUNTY RECORDS.

BOOK 466 PAGE 630 DOES NOT AFFECT THE SUBJECT PROPERTY.

BOOK 466 PAGE 631 DOES NOT AFFECT THE SUBJECT PROPERTY.

BOOK 468 PAGE 243 DOES NOT AFFECT THE SUBJECT PROPERTY.

BOOK 468 PAGE 245 DOES NOT AFFECT THE SUBJECT PROPERTY.

BOOK 470 PAGE 133 DOES NOT AFFECT THE SUBJECT PROPERTY.

BOOK 470 PAGE 151 DOES NOT AFFECT THE SUBJECT PROPERTY. ADDITIONAL RIGHT-OF-WAY HAS BEEN GRANTED TO THE STATE OF MISSOURI SINCE THIS ORIGINAL GRANT. THE EASEMENTS IN THIS DOCUMENT DO NOT AFFECT THE SUBJECT PROPERTY.

ITEM 15. ELECTRIC LINE EASEMENTS GRANTED TO MISSOURI EDISON ACCORDING TO INSTRUMENT RECORDED IN BOOK 252 PAGE 429 AND BOOK 252 PAGE 431 OF THE ST. CHARLES COUNTY RECORDS. BOOK 252 PAGE 429 DOES NOT AFFECT THE SUBJECT PROPERTY. THIS EASEMENT LIES ALONG THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 40-61 AS ESTABLISHED AT THE TIME THE EASEMENT DOCUMENT WAS CREATED. BOOK 252 PAGE 431 DOES NOT AFFECT SUBJECT PROPERTY. ACCORDING TO EMAIL MESSAGE FROM AMERENUE, DATED 08-16-2017, THIS EASEMENT LIKELY LIES ON THE OPPOSITE SIDE OF MISSOURI 40-61 FROM SUBJECT PROPERTY.

ITEM 16. RELEASE OF EASEMENT RIGHTS BY CUIVRE RIVER ELECTRIC COOPERATIVE, INC. ACCORDING TO INSTRUMENT RECORDED IN BOOK 7107 PAGE 1547 OF THE ST. CHARLES COUNTY RECORDS. DOES NOT AFFECT THE SUBJECT PROPERTY AND IS LOCATED AS SHOWN ON THIS SURVEY DRAWING.

ITEM 17. TERMS AND PROVISIONS, CONDITIONS AND EASEMENTS DESCRIBED UNDER GENERAL WARRANTY DEED BY AND BETWEEN KAPB LLC LAND SERIES AND CITY OF LAKE SAINT LOUIS, MISSOURI ACCORDING TO INSTRUMENT RECORDED APRIL 2, 2019 IN BOOK 7054 PAGE 632 OF THE ST. CHARLES COUNTY RECORDS. DOES NOT AFFECTS THE SUBJECT PROPERTY AND IS LOCATED AS SHOWN ON THIS SURVEY DRAWING.

ITEM 18. ANY REFERENCE TO ACREAGE CONTENT OF THE LAND DESCRIBED IN SCHEDULE A HEREIN, IS SHOWN AS IT APPEARS OF RECORD AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY. NO REPRESENTATION AS TO THE ACCURACY THEREOF IS ASSUMED HERUNDER. NO COMMENT BY LAND SURVEYOR.

AS SURVEYED LAND DESCRIPTION

A TRACT OF LAND BEING PART OF U.S. SURVEY 825, TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF "ESTATES OF HAWK RIDGE", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 37 PAGES 344-348 OF THE ST. CHARLES COUNTY RECORDS WITH THE EAST LINE OF COMMON GROUND "A" OF "HAWK RIDGE ON THE GREEN PLAT ONE", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 36 PAGES 51-53 OF SAID RECORDS; THENCE ALONG SAID EAST LINE OF COMMON GROUND "A" OF "HAWK RIDGE ON THE GREEN PLAT ONE", NORTH 00 DEGREES 02 MINUTES 43 SECONDS EAST 113.01 FEET TO THE SOUTHEAST CORNER OF LOT 48 OF "OAK BLUFF PRESERVE", A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 20 PAGES 163-165 OF SAID RECORDS; THENCE ALONG THE EAST LINE OF SAID LOT 46 OF "OAK BLUFF PRESERVE", NORTH 00 DEGREES 03 MINUTES 53 SECONDS WEST 773.85 FEET TO THE SOUTHEAST RIGHT-OF-WAY LINE OF OAK BLUFF DRIVE, FORMERLY KNOWN AS WOOLLAKE DRIVE, 50 FEET WIDE, PRIVATE, AS ESTABLISHED ON SAID PLAT OF "OAK BLUFF PRESERVE"; THENCE ALONG THE SAID SOUTHEAST RIGHT-OF-WAY LINE OF OAK BLUFF DRIVE, THE FOLLOWING COURSES AND DISTANCES, NORTH 48 DEGREES 35 MINUTES 02 SECONDS EAST 436.84 FEET, AND SOUTH 86 DEGREES 23 MINUTES 43 SECONDS EAST 309.52 FEET; THENCE LEAVING SAID SOUTHEAST RIGHT-OF-WAY LINE OF OAK BLUFF DRIVE, THE FOLLOWING COURSES AND DISTANCES, SOUTH 86 DEGREES 23 MINUTES 52 SECONDS EAST 97.00 FEET; SOUTH 80 DEGREES 56 MINUTES 51 SECONDS EAST 86.39 FEET; SOUTH 03 DEGREES 36 MINUTES 08 SECONDS WEST 135.00 FEET; ALONG A CURVE TO THE RIGHT WHOSE CHORD BEARS SOUTH 82 DEGREES 52 MINUTES 39 SECONDS EAST 119.77 FEET AND WHOSE RADIUS POINT BEARS SOUTH 16 DEGREES 30 MINUTES 16 SECONDS WEST 325.00 FEET FROM THE LAST MENTIONED POINT, AN ARC DISTANCE OF 120.46 FEET; SOUTH 52 DEGREES 15 MINUTES 34 SECONDS EAST 30.80 FEET; NORTH 37 DEGREES 44 MINUTES 26 SECONDS EAST 135.00 FEET; SOUTH 52 DEGREES 15 MINUTES 33 SECONDS EAST 55.00 FEET; NORTH 37 DEGREES 44 MINUTES 27 SECONDS EAST 86.00 FEET; SOUTH 52 DEGREES 15 MINUTES 33 SECONDS EAST 129.69 FEET; SOUTH 32 DEGREES 01 MINUTES 50 SECONDS WEST 53.33 FEET; SOUTH 37 DEGREES 44 MINUTES 27 SECONDS WEST 352.94 FEET; NORTH 52 DEGREES 15 MINUTES 34 SECONDS WEST 190.00 FEET; NORTH 57 DEGREES 26 MINUTES 12 SECONDS WEST 73.76 FEET; NORTH 84 DEGREES 57 MINUTES 40 SECONDS WEST 92.48 FEET; NORTH 86 DEGREES 23 MINUTES 52 SECONDS WEST 50.00 FEET; NORTH 03 DEGREES 36 MINUTES 08 SECONDS EAST 113.38 FEET; ALONG A CURVE TO THE LEFT WHOSE CHORD BEARS NORTH 41 DEGREES 23 MINUTES WEST 35.36 FEET AND WHOSE RADIUS POINT BEARS NORTH 86 DEGREES 23 MINUTES 52 SECONDS WEST 25.00 FEET FROM THE LAST MENTIONED POINT, AN ARC DISTANCE OF 39.27 FEET; NORTH 86 DEGREES 23 MINUTES 52 SECONDS WEST 110.00 FEET; SOUTH 03 DEGREES 36 MINUTES 08 SECONDS WEST 104.00 FEET; SOUTH 20 DEGREES 12 MINUTES 07 SECONDS WEST 56.41 FEET; SOUTH 38 DEGREES 01 MINUTES 05 SECONDS WEST 160.96 FEET; SOUTH 00 DEGREES 03 MINUTES 53 SECONDS EAST 258.00 FEET; SOUTH 02 DEGREES 05 MINUTES 17 SECONDS EAST 86.05 FEET; AND SOUTH 11 DEGREES 22 MINUTES 08 SECONDS EAST 367.83 FEET TO THE AFOREMENTIONED NORTH LINE OF "ESTATES OF HAWK RIDGE", THENCE ALONG SAID NORTH LINE OF "ESTATES OF HAWK RIDGE", SOUTH 89 DEGREES 37 MINUTES 24 SECONDS WEST 437.36 FEET TO THE POINT OF BEGINNING, CONTAINING 14.172 ACRES.

GENERAL NOTES

1. BASIS OF BEARINGS IS THE "MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE" (GRID NORTH).
2. ALL TIES SHOWN HEREON ARE PERPENDICULAR TO THE PROPERTY LINES TO WHICH THEY ARE TIED UNLESS NOTED OTHERWISE.
3. THIS PROPERTY IS A PORTION OF PROPERTY CURRENTLY VESTED IN THE NAME OF WINDSOR PARK, LLC BY DEEDS RECORDED IN BOOK 7246 PAGE 2494 OF THE ST. CHARLES COUNTY RECORDS.
4. THIS PROPERTY IS A PORTION OF PROPERTY CURRENTLY LISTED UNDER THE FOLLOWING PARCEL LOCATOR NUMBERS: 4-0060-0825-00-0002.0000000, 4-0060-0825-00-0002.0000000, AND 4-0060-0825-00-0002.6000000 IN THE ST. CHARLES COUNTY ASSESSORS OFFICE.
5. THIS PLAT CONTAINS 14.172 ACRES AND 35 LOTS.
6. ALL DIRECTIONS ALONG PROPERTY LINES ARE AS SURVEYED UNLESS NOTED OTHERWISE.
7. WE HAVE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND IN ST. CHARLES COUNTY, MISSOURI, BY SCALING THE PROPERTY IN REFERENCE TO THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0220C, COMMUNITY PANEL NUMBER (CITY OF LAKE SAINT LOUIS, 29086B 0220 G WITH AN EFFECTIVE DATE OF JANUARY 20, 2016). BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONE:
 - *ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
8. THE LEGAL DESCRIPTION LABELED HEREON "AS-SURVEYED" IS INTENDING TO DESCRIBE THE SAME PROPERTY AS COMPRISED BY THE LEGAL DESCRIPTIONS FOR PARCEL 1, PARCEL 1A AND PARCEL 2 OF THE REFERENCED TITLE COMMITMENT. THE "AS-SURVEYED" LEGAL DESCRIPTION REFLECTS THE ACTUAL MEASUREMENTS MADE BY THE LAND SURVEYOR DURING THE COURSE OF THIS SURVEY.
9. THIS PROPERTY IS ZONED "SR-2", SINGLE FAMILY RESIDENTIAL, BY THE CITY OF LAKE SAINT LOUIS, MISSOURI. THE SETBACK RESTRICTIONS FOR "SR-2", SINGLE FAMILY RESIDENTIAL ARE AS FOLLOWS:
 - FRONT YARD: 25'
 - SIDE YARD: 8'
 - REAR YARD: 25' OR 20% OF THE LOT DEPTH, WHICHEVER IS GREATER.
10. THE ADDRESSES SHOWN HEREIN, (XXX), WERE PROVIDED TO BAX ENGINEERING BY THE ST. CHARLES COUNTY DISPATCH AND ALARM; BAX ENGINEERING MAKES NO CERTIFICATION AS TO THE CORRECTNESS OR PERMANENCE OF SAID ADDRESSES.
11. * ● * DENOTES THAT A SEMI-PERMANENT MONUMENT TO BE SET NO LATER THAN TWELVE (12) MONTHS AFTER THE RECORDING OF THIS PLAT.
- * ▲ * DENOTES THAT A PERMANENT MONUMENT TO BE SET NO LATER THAN TWELVE (12) MONTHS AFTER THE RECORDING OF THIS PLAT.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT WE, BAX ENGINEERING COMPANY, HAVE DURING APRIL, 2020, BY ORDER OF WINDSOR PARK, LLC, EXECUTED BOUNDARY SURVEY AND PREPARED A PLAT ON "A TRACT OF LAND BEING PART OF U.S. SURVEY 825, TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF LAKE SAINT LOUIS, ST. CHARLES COUNTY, MISSOURI" AND THE RESULTS ARE SHOWN HEREON. THIS BOUNDARY SURVEY WAS EXECUTED IN ACCORDANCE WITH CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS AND PROFESSIONAL LANDSCAPE ARCHITECTS UNDER THE RULES OF THE DEPARTMENT OF COMMERCE AND INSURANCE (20 CSR 2030-16) AND MEETS THE ACCURACY STANDARDS SET FORTH FOR A TYPE "URBAN" PROPERTY.

BAX ENGINEERING COMPANY, INC.
MARK E. COLLINS
MISSOURI PROFESSIONAL LAND SURVEYOR #200600173



WINDSOR PARK
PLAT TWO

PREPARED FOR:

WINDSOR PARK, LLC
10528 LAKE BLUFF DRIVE
ST. LOUIS, MISSOURI 63123
(314) 667-9400

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

REVISIONS

DATE	CITY COMMENTS
07/16/20	



**ENGINEERING
PLANNING
SURVEYING**

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Bax Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Missouri State Certificate of Authority
Surveying #000144

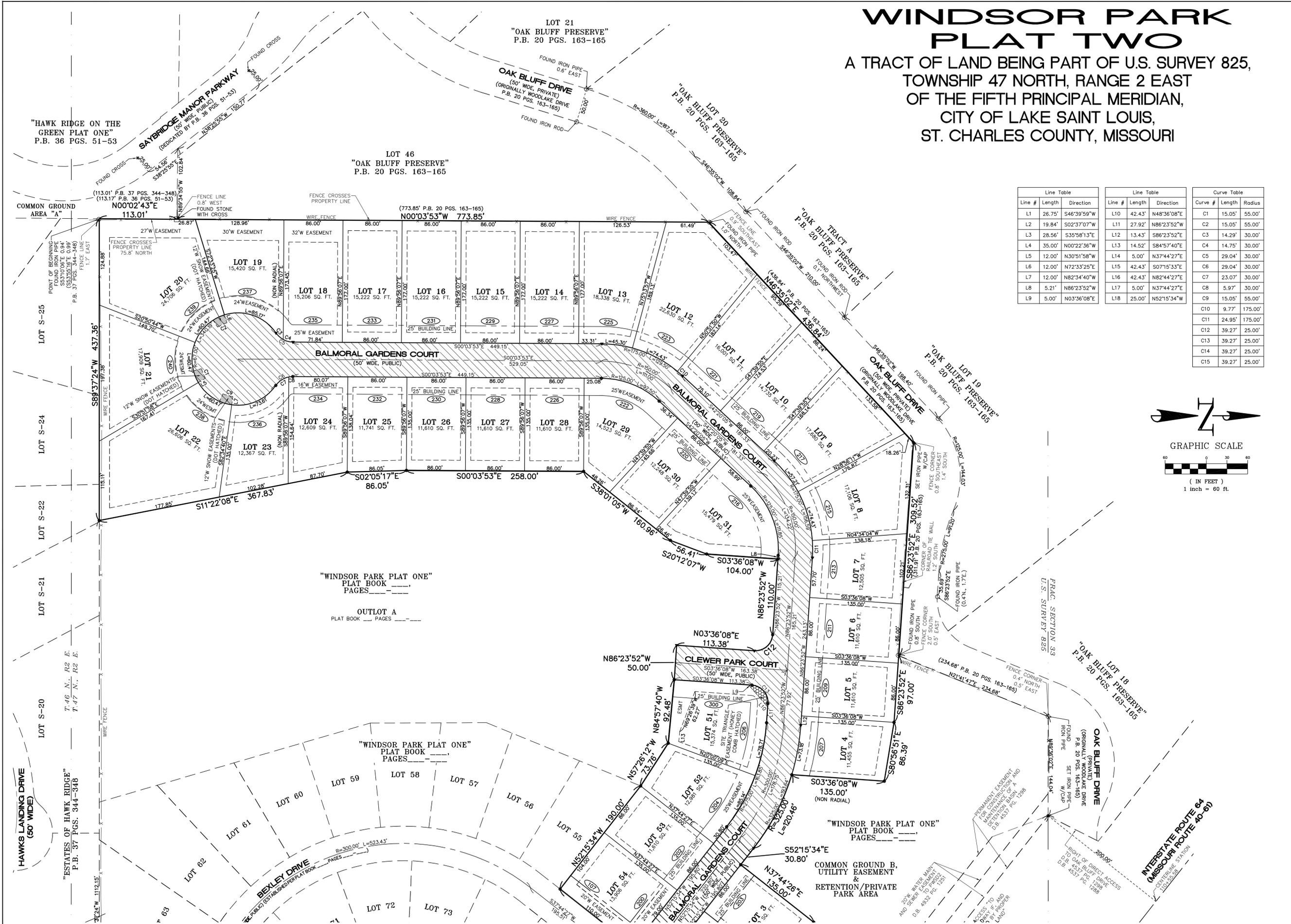
04/02/2020
DATE
16-16945D
PROJECT NUMBER
1 of 3
SHEET OF
16945D REC 2
FILE NAME
JLH MEC
DRAWN CHECKED
11/2019
DATE DONE IN FIELD

THIS PLAT CONTAINS 14.172 ACRES.

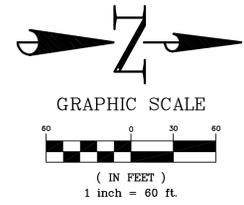
WINDSOR PARK PLAT TWO

A TRACT OF LAND BEING PART OF U.S. SURVEY 825,
TOWNSHIP 47 NORTH, RANGE 2 EAST
OF THE FIFTH PRINCIPAL MERIDIAN,
CITY OF LAKE SAINT LOUIS,
ST. CHARLES COUNTY, MISSOURI

WINDSOR PARK
PLAT TWO



Line Table		Line Table		Curve Table		
Line #	Length	Line #	Direction	Curve #	Length	Radius
L1	26.75'	L10	42.43' N48°36'08"E	C1	15.05'	55.00'
L2	19.84'	L11	27.92' N86°23'52"W	C2	15.05'	55.00'
L3	28.56'	L12	13.43' S86°23'52"E	C3	14.29'	30.00'
L4	35.00'	L13	14.52' S84°57'40"E	C4	14.75'	30.00'
L5	12.00'	L14	5.00' N37°44'27"E	C5	29.04'	30.00'
L6	12.00'	L15	42.43' S07°15'33"E	C6	29.04'	30.00'
L7	12.00'	L16	42.43' N82°44'27"E	C7	23.07'	30.00'
L8	5.21'	L17	5.00' N37°44'27"E	C8	5.97'	30.00'
L9	5.00'	L18	25.00' N52°15'34"W	C9	15.05'	55.00'
				C10	9.77'	175.00'
				C11	24.95'	175.00'
				C12	39.27'	25.00'
				C13	39.27'	25.00'
				C14	39.27'	25.00'
				C15	39.27'	25.00'



PREPARED FOR:

WINDSOR PARK, LLC
10528 LAKE BLUFF DRIVE
ST. LOUIS, MISSOURI 63123
(314) 667-9400

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.



REVISIONS	
DATE	CITY COMMENTS
07/16/20	



**ENGINEERING
PLANNING
SURVEYING**
221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Missouri State Certificate of Authority
Surveying #000144

04/02/2020
DATE
16-16945D
PROJECT NUMBER
3 of 3
SHEET OF
16945D REC 2
FILE NAME
JLH MEC
DRAWN CHECKED
11/2019
DATE DONE IN FIELD

MATCHLINE SEE SHEET 2



PLANNING AND ZONING APPLICATION

APPLICATION SUBMITTAL REQUIREMENTS

The following shall be submitted at least 35 days before the scheduled meeting date of the Planning and Zoning Commission. The meetings are held the first Thursday of each month. Submittals lacking any one of the submittal requirements will be considered incomplete and will not be accepted.

Submittal Requirements	Format	Details
Application	PDF ^[1]	Completed applications are required 35 days in advance of the meeting date. The meetings are held the 1st Thursday of each month.
Plans	PDF ^[1]	
Certified list of adjacent property owners ^[3]	PDF ^[1]	List may be obtained from the St. Charles County Assessor's Office and shall include a list of property owner names and addresses within 300 feet (residential applications) or 1,000 feet (nonresidential applications) of the subject property.
Mailing Labels ^[3]	Hard Copy	The mailing labels should include all property owners on the certified list. List shall be placed on letter-size mailing labels and submitted with original certified list.
Application Fee ^[3]	Check or Online ^[2]	Refer to fee schedule on page 3.
Mailing Fee ^[3]	Check or Online ^[2]	The fee is \$5 plus \$0.62 per letter.
Advertising Fee ^[3]	Check or Online ^[2]	The fee is \$400. Once the advertisements have been placed, the applicant will be notified regarding any balance due or refund owed. There will be no refund of overpayments that are less than \$3.00.

Notes

[1] Email PDFs to bcueller@lakesaintlouis.com.

[2] Pay online at with [Official Payments](#). Email confirmation to bcueller@lakesaintlouis.com.

[3] Not required for conceptual review.



PLANNING AND ZONING APPLICATION

Updated June 25, 2020

Application is hereby made to the Planning and Zoning Commission of the City of Lake Saint Louis to approve the following request as described below.

Applicant

Name	<i>Dierbergs Lake Saint Louis, L.L.C.</i>
Address	<i>c/o Dierbergs Markets, Inc., Attn: Mr. Brent C. Beumer, Vice President of Real Estate 16690 Swingley Ridge Road, 4th Floor, Chesterfield, Missouri 63017</i>
Email	<i>beumerb@dierbergs.com</i>
Phone Number	<i>W: (636) 812-1364 M: (314) 374-6891</i>
Interest in Property	<i>Owner</i>

Property Owner

Name	<i>Dierbergs Lake Saint Louis, L.L.C.</i>
Address	<i>c/o Diebergs Markets, Inc., Attn: Mr. Brent C. Beumer, Vice President of Real Estate 16690 Swingley Ridge Road, 4th Floor, Chesterfield, Missouri 63017</i>
Email	<i>beumerb@dierbergs.com</i>
Phone Number	<i>W: (636) 812-1364 M: (314) 374-6891</i>
Name, address, and title of all officers, partners, or control persons who have any interest in the application	<i>Brent C. Beumer Vice President of Real Estate (Same Address as Applicant/Owner)</i>

Property Information

Property Address or General Location	<i>Southwest corner of Ronald Reagan Blvd. and Orf Road</i>
Legal Description	<i>See Exhibit A attached</i>
Size	<i>11.11 acres +/-</i>
Zoning	<i>"PD" Planned Development District</i>
Deed Restrictions. Attach a copy if applicable.	<i>N/A</i>



PLANNING AND ZONING APPLICATION

Updated June 25, 2020

Requested Action

<i>Application Type</i>	<i>Fee</i>	
Subdivisions		
Preliminary Subdivision Plat - Resubdivision	\$200	
Preliminary Subdivision Plat - Residential	\$250.00 + \$25.00 per lot	
Preliminary Subdivision Plat - Nonresidential	\$75.00 per sheet + \$10.00 per acre	
Final Subdivision Plat	\$250.00 + \$25.00/lot	
Development Plans		
Preliminary Development Plan - Residential	\$250.00 + \$25.00 per lot	
Preliminary Development Plan - Nonresidential	\$75.00 per sheet + \$10.00 per acre	✓
Other		
Site Plan Review	\$100	
Special Use Permit	\$100	
Zoning Amendment	\$200	✓
Conceptual Review	No Fee	

Description of Proposed Project

*Owner/Applicant intends to construct a grocery anchored shopping center at the south end of the Shoppes at Hawk Ridge Development on an approximate 11.11 acre parcel located at the Southwest corner of Ronald Reagan Boulevard and Orf Road (the "Project"). As more specifically set forth on the submitted Site Development Plan, the initial phase of the Project will entail the construction of three (3) commercial buildings (identified as Building A, Building B and Building C). Dierbergs Markets, Inc. will be the anchor-tenant located in the approximately 70,848 sf +/- Building B. Building A, comprised of approximately 8,118 sf +/- of additional commercial, retail, restaurant and/or service retail space will be constructed immediately south of Building B. Building C comprised of approximately 9,892 sf +/- of additional commercial, retail, restaurant and/or service retail space will be constructed immediately north of Building B. The Project also contemplates the future development of two (2) additional exterior buildings (identified on the submitted Site Development Plan as Building D and Building E).
Owner/Applicant will construct all required roadway, traffic signal and infrastructure improvements necessitated by the Project, as approved by the City of Lake Saint Louis and other governmental and regulatory authorities.*

I, Brent C. Beumer, hereby certify that the information given above is true and accurate and that I have reviewed the applicable land development regulations.

Brent C. Beumer

7/2/20

Name of Owner/Agent

Signature of Owner/Agent

Date



REAL ESTATE OWNER AFFIDAVIT

I, Brent C. Beumer, am the owner or authorized agent of the owner of the parcel, which is the subject matter of the above application, and swears upon my oath that:

1. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to the parcel, which is the subject matter of this application.
2. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels in the City of Lake Saint Louis, owned by the same owner of the parcel of land which is the subject matter of this application.
3. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels of land owned by the control entities of the owner of the parcels which are the subject matter of this application.
4. All taxes and fees due and assessed by the City of Lake Saint Louis have been paid with regard to all parcels in the City of Lake Saint Louis owned by affiliates of the owner of the parcels which are the subject matter of this application, including those entities which are controlled by owner.

Brent C. Beumer

07/02/20

Name of Owner/Agent

Signature of Owner/Agent

Date



PLANNING AND ZONING APPLICATION

Updated June 25, 2020

Owner

STATE OF MISSOURI)
COUNTY OF ST. LOUIS)

On this 2nd day of July, 2020, before me, a notary public in and for the State of Missouri, personally appeared Brent C. Beumer, known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this 2nd day of July, 2020, in the County of St. Charles, State of Missouri.



KAREN R. SCHRADER
My Commission Expires September 2, 2021
St. Louis County
Commission #13521837

[Signature]
Notary Public

My Commission Expires: 09.02.2021

Authorized Agent

STATE OF MISSOURI)
COUNTY OF ST. LOUIS)

On this 2nd day of July, 2020, before me, a notary public in and for the State of Missouri, personally appeared Brent C. Beumer, who stated that he/she is the Vice President of Dierbergs Lake Saint Louis, L.L.C. Position Corporation, Partnership, Association, etc.

and that he/she has been authorized to make this application, and is further known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this 2nd day of July, 2020, in the County of St. Charles, State of Missouri.



KAREN R. SCHRADER
My Commission Expires September 2, 2021
St. Louis County
Commission #13521837

[Signature]
Notary Public

My Commission Expires: 09.02.2021

Exhibit A

LEGAL DESCRIPTION

Adjusted Lot C; and part of Adjusted Lot D2 of Hawk Ridge Village Plat Two, according to the plat thereof recorded in Plat Book 42, Page 316 of the St. Charles County, Missouri Records, and the South half of Orf Road, 30 foot wide, vacated by instrument recorded in Book 4398, Page 2325 of said St. Charles County Records, and being more particularly described as follows:

Beginning at the intersection of the Southern prolongation of the West line of the Shoppes of Hawk Ridge, a subdivision as recorded in Plat Book 41, Pages 194 & 195 of the St. Charles County, Missouri Recorder's Office with the centerline of said vacated (30' wide) Orf Road; thence along said centerline, South 89 degrees 28 minutes 35 seconds East, 708.86 feet to the West right of way line of Ronald Reagan (71' wide) Drive; thence along said West right of way line South 2 degrees 54 minutes 54 seconds West, 275.18' to a point of curvature; Southwesterly along a curve to the right, having a radius of 339.50', a distance of 287.59' to a point of reverse curvature; Southwesterly along a curve to the left, having a radius of 410.50', a distance of 234.23'; thence North 89 degrees, 27 minutes 45 seconds West, 487.95'; thence North 0 degrees 32 minutes 15 seconds East, 699.47' to the South line of Orf Road, being also the North line of said Adjusted Lot C; thence along said North line of Adjusted Lot C, South 89 degrees 28 minutes 35 seconds East, 46.77' to the Southwest corner of said Orf Road vacation; thence North 0 degrees 30 minutes 36 seconds East 15.00' along the West line of said Orf Road vacation back to the point of beginning and containing 11.107 acres, more or less.

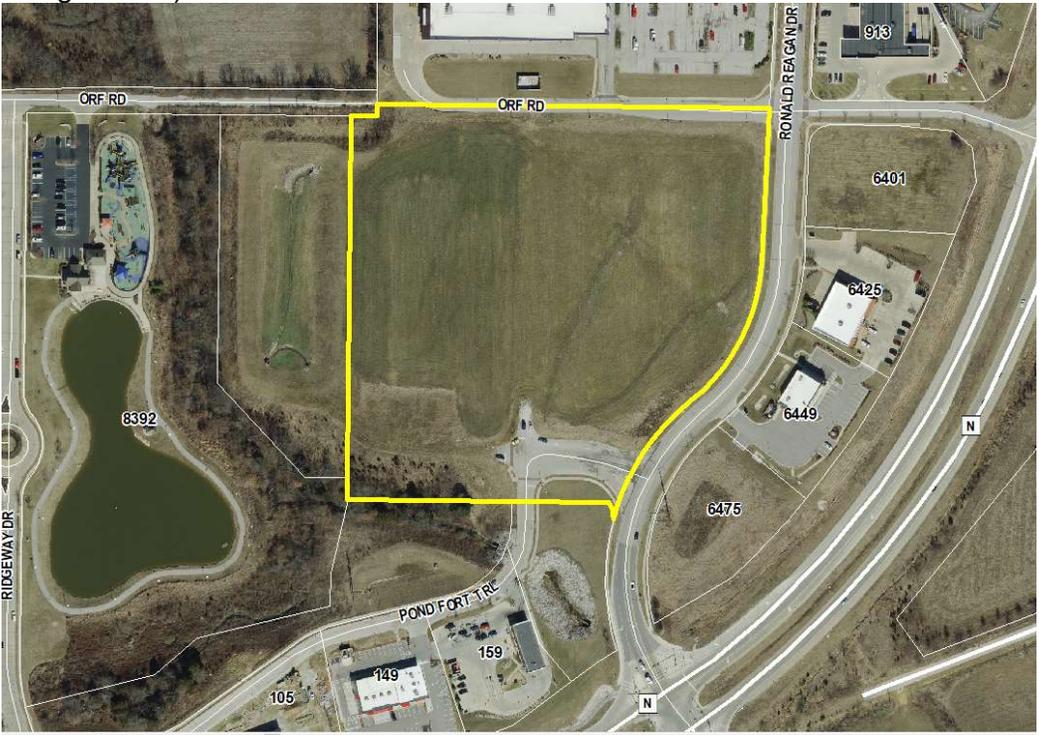
11-30-06

Legal description was copied from Sheet 2 of 2 of a Boundary and Topographic survey prepared by Metron Surveying Co., dated 10-19-06 for Dierbergs Markets, Inc.



PLANNING & ZONING COMMISSION

STAFF REPORT

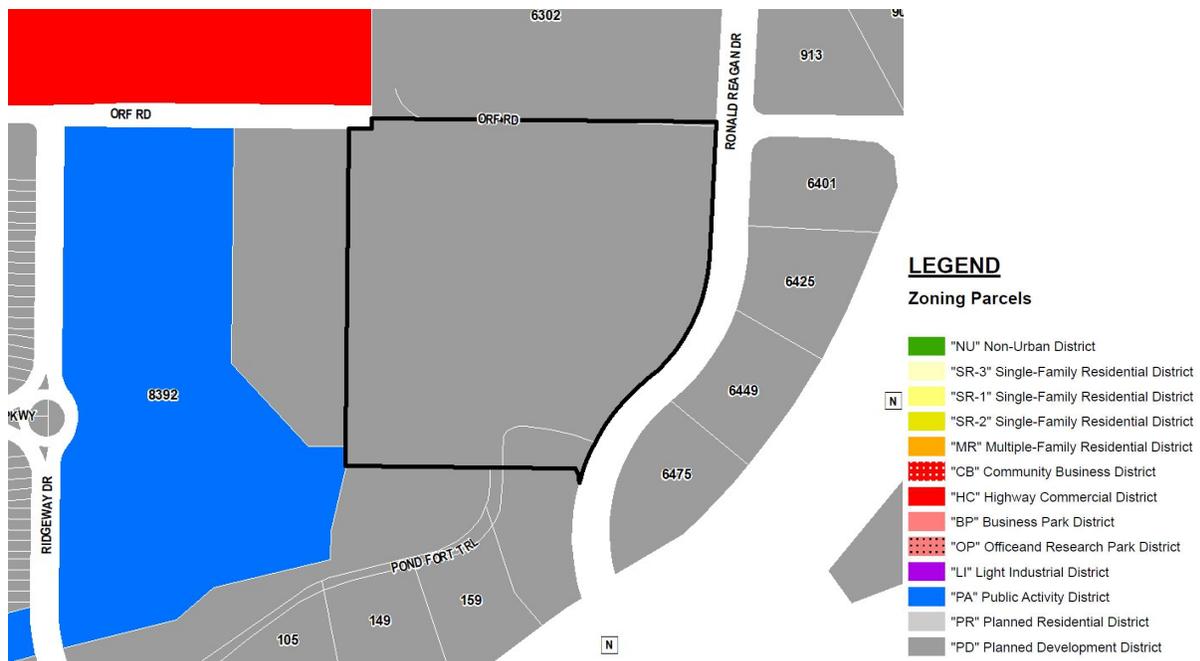
MEETING DATE	August 6, 2020
PROJECT LOCATION	<p>Southwest corner of Ronald Reagan Drive and Orf Road (Lot C1 of Hawk Ridge Village Plat 3).</p> 
PROPERTY OWNER/APPLICANT	Dierbergs Lake Saint Louis, LLC
LOT SIZE	+/- 11.11 acres
ZONING	"PD" Planned Development
APPLICATION TYPE	Zoning Amendment and Preliminary Development Plan
PROPOSAL	Construction of an 88,858 square-foot multi-tenant commercial development including a 70,848 grocery store known as Dierbergs Markets; and, amendments to the Detail to Development Standards for The Shoppes at Hawk Ridge as it relates to building setbacks and signage.
STAFF	Louis Clayton, AICP, Director of Community Development

BACKGROUND

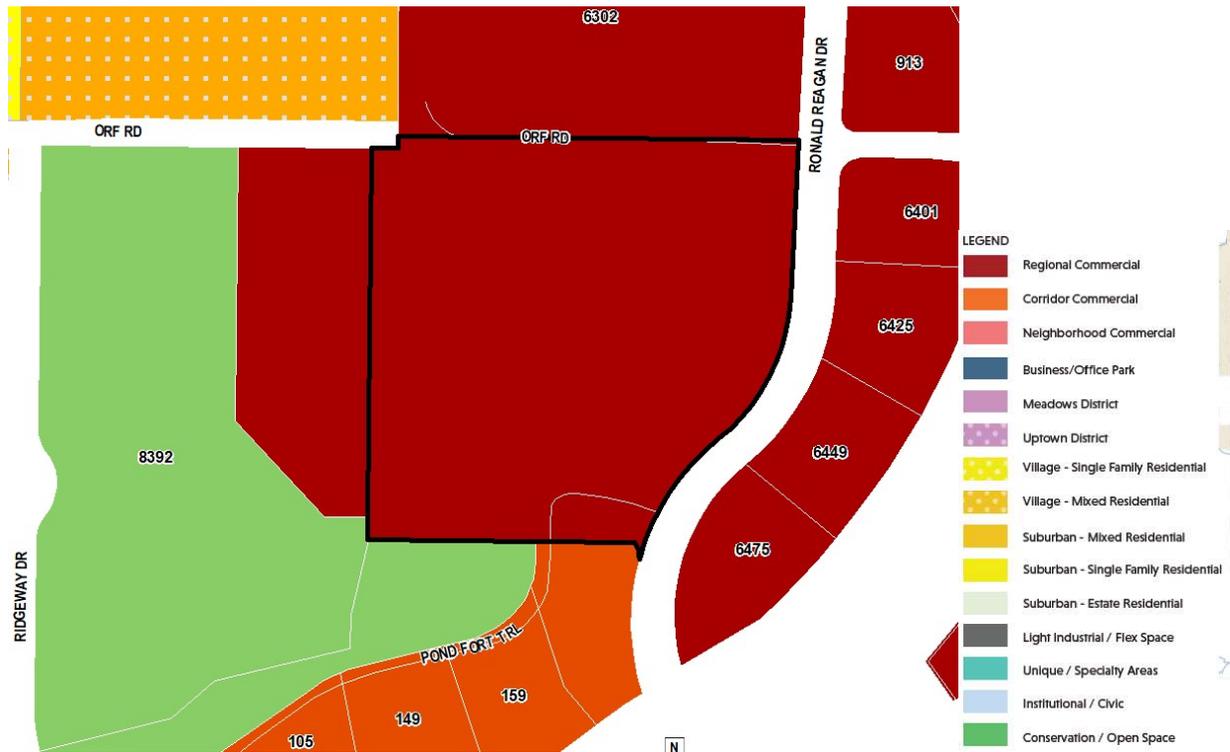
The subject property measures 11.11 acres and is located at the southwest corner of Ronald Reagan Drive and Orf Road. The site is currently vacant, and is part of The Shoppes at Hawk Ridge Planned Development District. On March 19, 2007, the Board of Aldermen approved via Ordinance 2435 a Preliminary Development Plan for the subject property which included a Dierbergs grocery store and shopping center. The approval subsequently expired.

The adjacent land uses and zoning designations are summarized in the following chart and map:

Direction	Land Use	Name/Subdivision	Zoning District
North	Commercial	Lowe's	"PD" Planned Development
South	Common Ground (detention basin)	Hawk Ridge Village	"PD" Planned Development
East	Commercial	Auto Zone, Sherwin Williams, Popeye's	"PD" Planned Development
West	Common Ground (detention basin)	Hawk Ridge Village	"PD" Planned Development



The Comprehensive Plan's Future Land Use Map designates the subject property as "Regional Commercial". Excerpts from the Comprehensive Plan are included below.



Regional Commercial

Regional Commercial are locations intended to provide retail and commercial businesses that serve a wide geographic area with a customer and employee base that extends beyond the City limits. While single uses may be applicable, typical Regional Commercial will primarily have multiple businesses including retail, restaurants, grocery, and office. National retailers and brands are a key feature. Regional Commercial include major employment and revenue generators that are valuable community resources. Aesthetic appearance should be a priority as Regional Commercial will attract a large number of residents and visitors.



Design Expectations

- Building, signage, streetscape, and amenity design is coordinated between sites as part of the same development.
- Logical sidewalk connections are between buildings and through parking lots.
- Layout encourages walking between businesses.
- Extensive landscaping in parking areas, near buildings, and buffer areas.
- Development should have a distinct and high aesthetic design style using quality materials such as stone, glass, and brick. Individual building should have massing variation, modulation, horizontal and vertical articulation, and architectural detailing to harmonize the scale of a building.

Details

Building Placement	■ Arrangement to help define streets, sidewalks, and public areas should be encouraged.
Building Height	■ 35 feet max. Taller structures may be allowed near I-64 or areas not impacting residential.
Density	■ 1.25 FAR. Higher densities allowed if public amenities are provided.
Parking	■ Off-Street. Shared parking between businesses. Side and rear parking should be encouraged.
Landscape	■ Extensive landscaping, including street trees along internal drives and adjacent streets.

PROJECT DESCRIPTION

The applicant proposes the construction of five commercial buildings in two phases, consisting of the following:

<i>Building</i>	<i>Use</i>	<i>Gross Square Feet</i>	<i>Phase</i>
A	Retail/service and sit down restaurant	8,118	1
B	Grocery (Dierbergs)	70,848	1
C	Retail/service	9,892	1
D	Retail/service and fast food restaurant	6,560	2
E	Fast food restaurant	4,500	2
TOTAL		99,918	

The proposed development is substantially similar to the Preliminary Development Plan approved in 2007 by Ordinance 2435. The development requires approval of a Preliminary Development Plan and is subject to the Development Standards and Detail to Development Standards for The Shoppes at Hawk Ridge.

Building Setbacks

The required setbacks for this property are 50 feet from the front property line, 15 feet from the side property lines, and 30 feet from the rear property line. The proposed building encroaches six feet into the required rear setback, and the applicant proposes to amend the Detail to Development Standards which would reduce the required rear setback from 30 feet to 24 feet (see pages 9-10). According to the applicant, this amendment should be approved for the following reasons:

Justification for amendment to Detail to Development Standard: Developer believes that the purpose of the building setback requirement is to assure that there is sufficient “buffer” between adjoining properties, particularly when a commercial property abuts property with a less dense zoning classification. In order to provide sufficient parking and traffic circulation for our development, Developer is proposing to construct Building B (the Dierbergs store) 24’ from the western boundary (rear) of our parcel. It is important to note that the property immediately to west of (behind) Developer’s parcel is an approximately 3.25 acre parcel that is commercially zoned and is used as a shared water detention basin serving our parcel and the other neighboring commercial developments in the Shoppes of Hawk Ridge. It is reasonable to anticipate that this parcel will continue to be used as a detention basin for as long as the Shoppes of Hawk Ridge remains a commercial development. It is also important to understand that the detention basin runs the entire length (north to south) of Developer’s parcel’s western boundary and is approximately 560’ wide. As you are aware, the parcel immediately west of the detention basin parcel is owned by the City and is used as a City Park. Developer believes that the approximately 560’ wide vegetated detention basin and the City Park provide more than a than sufficient buffer between Developer’s proposed commercial development and any other reasonably anticipated use on properties located to the west (behind) of Developer’s proposed development.

Access and Circulation

Vehicular

Access to the site is proposed via three new drives: a full access drive on Ronald Reagan Drive between Orf Road and Pond Fort Trail, a full access drive on Orf Road, west of Ronald Reagan Drive, and a full access drive on Pond Fort Trail. Truck access is proposed near the end of Orf Road.

A traffic impact study was conducted to determine the number of trips that would be generated by the proposed development and evaluate the impact of those trips on operating conditions along the adjacent roadways. The study finds that in the short term, the southbound right-turn on Ronald Reagan Drive at Highway N would occasionally queue beyond the storage bay provided (1-2 times during the PM peak hour). Additionally, queues for the southbound through lane may occasionally block access to the southbound right turn lane, causing some delay for southbound right turning traffic. Such long queues are only expected during the peak 10-15 minutes of the weekday PM peak hour. These queues are not expected to back into adjacent intersections, therefore, operating conditions at Ronald Reagan Drive and Pond Fort Trail would not be impacted.

To mitigate potential traffic impacts, the study recommends, and the applicant (as applicable) has agreed to implement, the following roadway improvements:

1. At Ronald Reagan Drive and Orf Road
 - a. Install a new traffic signal;
 - b. Provide a southbound right-turn lane on Ronald Reagan Drive at Orf Road;
 - c. Construct the eastbound and westbound approaches of Orf Road with a left-turn lane and a shared through/right-turn lane; and
 - d. Provide protected plus flashing yellow arrow phasing for the left-turn movement on all approaches.
2. Provide a right-turn overlap phase for southbound Ronald Reagan Drive at Route N to minimize delays and shorten queues.
3. Minor signal timing modifications at Route N and Hawks Ridge Trail and at Route N and Ronald Reagan Drive/Sommers Road.

Bicycle and Pedestrian

Sidewalks are proposed along the perimeter of the site and will connect to the existing sidewalk network. A portion of a proposed bike path connecting Hawk Ridge Park to The Shoppes at Hawk Ridge is located on the northwest corner of the subject property.

Parking & Loading

The Shoppes at Hawk Ridge is subject to the following minimum parking requirements, as specified in the Detail to Development Standards:

- Commercial uses: 1 per 200 gross leasable square feet
- Fast food restaurants: 1 per 67 gross leasable square feet
- Sit-down restaurants: 1 per 100 gross leasable square feet

For the proposed project, 510 parking spaces are required and 485 are proposed. The proposed number of parking spaces is five percent less than required by the Detail to Development Standards. Pursuant to [Section 430.120](#) of the Municipal Code, the total number of parking spaces required may be reduced in mixed-use and commercial developments “where

same is justified to the satisfaction of the City by the parking analysis submitted by a traffic engineer or planner.”

The applicant has submitted a parking study conducted by CBB. Considering local parking demand data from other Dierbergs shopping centers, CBB estimates that the proposed development would need a parking supply between 400 and 450 parking spaces to accommodate the various land uses in the development, and that the proposed parking supply of 485 parking spaces would be adequate.

Based on the size of the building, 12 loading spaces are required and are shown on the plans.

Stormwater Management

Stormwater runoff from the site will be piped to an existing regional detention basin west of the property. The Public Works Department finds the stormwater plan acceptable.

Landscaping

The proposed landscaping complies with and/or exceeds the minimum planting requirements found in the Detail to Development Standards including interior parking lot landscaping, perimeter landscaping, and building foundation landscaping.

The applicant proposed understory trees in the parking lot instead of the required canopy trees due to a concern of the long-term health of the trees.

The City’s contracted arborist has reviewed the landscape plan and is of the opinion that the landscape design and plant selection is acceptable.

Lighting

Proposed LED fixtures will be mounted onto 36-foot poles on 3-foot concrete bases. The fixtures are compatible with the type of fixture that is required by the Detail to Development Standards. The photometric plan conforms with the requirements of the Detail to Development Standards. Building lighting is subject to approval by the Development Review Board.

Building Design

The Development Review Board will consider the building’s appearance to ensure conformance with the Detail to Development Standards for The Shoppes at Hawk Ridge.

Signage

Proposed Monument Signs

Sign “A” is located at the northeast corner of the site (southwest corner of Ronald Reagan Drive and Orf Road). The sign is single-sided and measures 79.3 square feet, including a 46.2 square-foot, full color electronic message board (FCEMB).

FCEMBs are not specifically addressed in the Detail to Development standards; however, the standards state that “No other signage – including temporary signs and banner signs - will be permitted except as allowed in the Lake Saint Louis Municipal Code.” FCEMBs are permitted in accordance with Section 430.300.F.4 of the Municipal Code on properties zoned PD and having a use that is permitted in the HC zoning district, subject to specific requirements regarding location, size, and brightness.

Sign “B” is located at the southeast corner of the site (northwest corner of Ronald Reagan Drive and Pond Fort Trail). The sign is double-sided and measures 49.3 square feet (per side).



The proposed monument signs fail to conform with the following requirements of the Detail to Development Standards and the Municipal Code:

Standard	Regulation	Requirement	Proposed
Monument Sign - Number	Detail to Development Standards	One sign per lot (maximum)	Two signs
Monument Sign - Size	Detail to Development Standards	100 square feet maximum, total for both sides	79.3 square-feet (one sided) - Sign “A” only
Monument Sign - Design and Materials	Detail to Development Standards	Size, color, lettering, location, and arrangement shall conform to elevations shown on in the Development Standards	Alternative design and materials
Full Color Electronic Message Board - Size	Section 430.300.F.4.b	32 square feet (maximum), and may not cover more than 35% of the sign face area of the monument sign.	46.2 square feet (58% of total sign area)

Monument Sign – Number

One monument sign is permitted per lot, and the applicant proposes two monument signs. This requires an amendment to the Detail to Development Standards (see pages 9-10). According to the applicant, this amendment should be approved for the following reasons:

Justification for amendment to Detail to Development Standard: As set forth in the answer to question 1 h. above, Developer does not intend to subdivide the approximately 11.11 acre parcel. Rather, Developer intends to develop the parcel as one, unified development to be constructed in phases. Given the size of the parcel, the multiple points of access to the development, and understanding that Developer does not intend to subdivide the parcel to create separate lots, Developer believes that one (1) monument sign will not be sufficient to identify our grocery store and the other tenants in the shopping center. Per Developer’s traffic engineering firm, CBB, approximately sixty percent (60%) of customers will be visiting the development from the north and forty percent (40%) will be visiting the development from the south.

Furthermore, given the amount of residential construction south of the development it is reasonable to assume that, in the near future, a greater percentage of customer traffic will be visiting the development from the south. It is likely that visitors coming to the development from the south would never see signage located near the Orf Road/Ronald Reagan intersection (the proposed location of Monument Sign "A"). Similarly, visitors coming to the development from the north would likely never see signage located at the Ronald Reagan/Pont Fort Trail entrance (the proposed location of Monument Sign "B").

Monument Sign – Size

The maximum permitted size for multi-tenant buildings or properties is "one hundred (100) square feet, total for both sides". In nearly all cases, monument signs are two sided and have equal sized signage on both sides. Staff interprets this requirement to mean that the maximum sign size per side is 50 feet. Sign "A" is one-sided, and measures 79.3 square-feet. This requires an amendment to the Detail to Development Standards (see pages 9-10). According to the applicant, this amendment should be approved for the following reasons:

Justification for amendment to Detail to Development Standard: Developer proposes to locate Monument Sign "A" at the south entrance to our development at the intersection of Pont Fort Trail and Ronald Reagan Drive. Given its proposed location and orientation, Monument Sign "A" was intentionally designed as a one (1) sided sign. The total square footage of Monument Sign "A" is 79.3 SF which is 20+SF less than total amount of advertising space that would be allowed if Monument Sign "A" were two (2) sided.

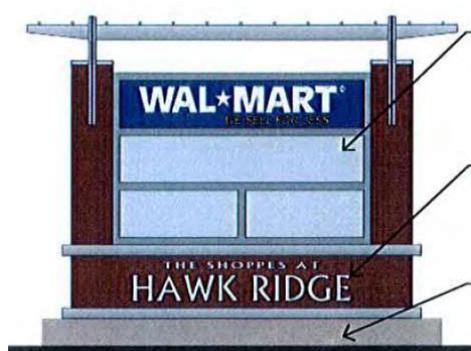
Monument Sign – Design and Materials

The proposed design and materials do not conform to the required design and materials required for The Shoppes at Hawk Ridge.



Sign "A"

Sign "B"



Required Monument Sign Design

This requires an amendment to the Detail to Development Standards (see pages 9-10). According to the applicant, this amendment should be approved for the following reasons:

Justification for amendment to Detail to Development Standard: See Monument Sign Exhibit prepared by CD Companies (Sheet I.1). Developer is proposing monument signage that has is architecturally harmonious with the proposed building design elements. Developer notes that other businesses in the Shoppes of Hawk Ridge have deviated from the Development Standards in an effort to match monument signage with building design elements. (See Lowe’s monument sign which “mirrors” the blue roof line on the front of its building). Developer believes that utilizing the colors and materials from the building palate on the monument signs offers a first class look and cutting-edge design that comports with community standards and is more consistent with recent developments Lake Saint Louis. Developer also believes there to be adequate separation from the original portion of the Hawk Ridge Development and Developer’s parcel such that adhering to the exact Detail to Development Standards is less important than having signage that is architecturally consistent with the proposed building designs.

Full Color Electronic Message Board - Size

Pursuant to Section 430.300.F.4.b of the Municipal Code, the maximum size for any FCEMB is 32 square feet and it may not cover more than 35 percent of the sign face area of the monument sign. The proposed FCEMB is 46.2 square feet and 58 percent of the total sign area. In accordance with Section 430.300.F.5, the Board of Aldermen may reduce or modify this requirement. According to the applicant, this requirement should be reduced for the following reasons:

Dierbergs has found EMC’s to be a very effective tool to communicate with existing and potential customers regarding daily and weekly specials, 15 hour sales, and other promotions. The technological advancement in EMC’s over the recent years have made them very attractive additions at many Dierbergs store locations with measurable positive impacts to top line sales. To date, Dierbergs has full color EMC’s at 10 supermarkets across its portfolio. The proposed EMC on Monument Sign “A” is significantly smaller (46.2 SF) than the EMC’s that Dierbergs has in other locations in surrounding municipalities in St. Charles County. Specifically, the Dierbergs locations at Wentzville Crossing in Wentzville, Missouri and Deer Creek Crossing in O’Fallon, Missouri each have EMC’s that are each approximately 120SF. It is important to Dierbergs that its newest and most innovative store in Lake Saint Louis has access to the same marketing and advertising strategies that are currently deployed in neighboring municipalities.

Full Color Electronic Message Board - Brightness

Pursuant to Section 430.300.F.4.j of the Municipal Code, the maximum brightness of FCEMBs will be determined by the Planning and Zoning Commission on a case-by-case basis considering such things as proximity to nearest residence(s), distance from roadway, traffic counts in non-daylight hours, light sources surrounding the sign, and capability of the proposed sign to distinguish and accommodate sunny and overcast days. To limit any potential impacts on adjacent properties and motorists, staff recommends that the FCEMB brightness not exceed 5,000 NIT (candela per square meter) during daylight hours and 300 NIT (candela per square meter) during non-daylight hours.

Detail to Development Standards – Amendments

The Detail to Development Standards for The Shoppes at Hawk Ridge were adopted on July 19, 2014 via Ordinance 2043. The standards apply to all lots in The Shoppes at Hawk Ridge

and Hawk Ridge Village with the exception of Hawk Ridge Village Lot B. The standards replace and/or supersede many of the requirements of the City's Municipal Code. The standards have subsequently been amended via Ordinances 2191, 2362, 2871, 3700 and 3714.

The City does not have a process by which to approve deviations from the Detail to Development Standards on a case-by-case basis; however, an applicant may propose an amendment to the standards to allow the type of development that is desired.

Staff has drafted the following amendments to the text of the Detail to Development Standards which would allow relief from the rear yard setback requirement and monument sign standards (new text is **bold and underlined**, eliminated text is ~~struck through~~):

IV. Specific Criteria

A.1. Setbacks

a. Buildings

(iii) Rear Yard: Thirty (30) feet. **The rear yard setback may be reduced by the Board of Aldermen when the rear property line abuts common ground.**

A.8 Signage

j. Monument signs for Hawk Ridge Village Plat 3 - Lot C1, shall substantially conform to the number, size, materials, and design as depicted on the Preliminary Development Plan approved via Ordinance XXXX.

CONCLUSION

Staff is of the opinion that overall, the proposed development is compatible with adjacent land uses and complies with the applicable requirements of the Municipal Code, Development Standards, and Detail to Development Standards for The Shoppes at Hawk Ridge, with the following exceptions which may be approved by the Board of Aldermen:

1. Rear building setback
2. Parking spaces
3. Parking lot tree species
4. Monument sign number, size, design and materials
5. Full Color Electronic Message Board size

STAFF RECOMMENDATION

To **recommend approval** of the Preliminary Development Plan to the Board of Aldermen with the following condition:

1. The brightness of the FCEMB shall not exceed 5,000 NIT (candela per square meter) during daylight hours and 300 NIT (candela per square meter) during non-daylight hours.

To **recommend approval** of amendments to the Detail to Development Standard for The Shoppes at Hawk Ridge to the Board of Aldermen as submitted.

MOTION

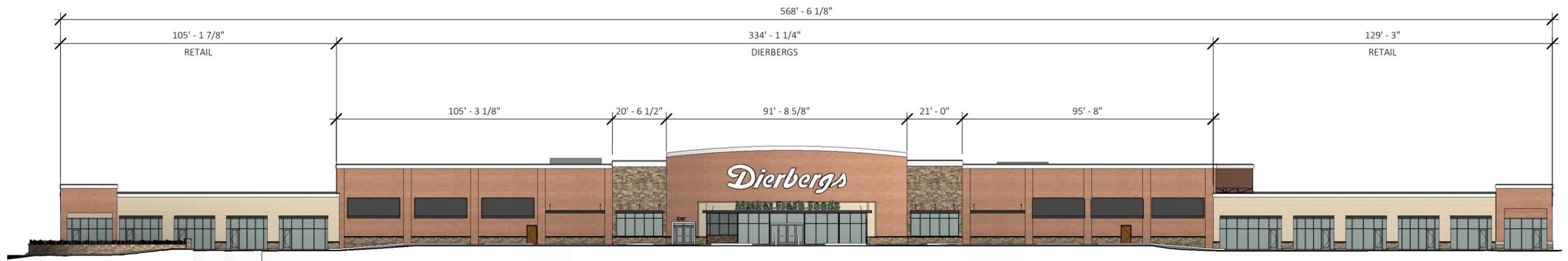
The following motion can be read verbatim or modified as desired:

*“I move to **recommend approval** of the Preliminary Development Plan to the Board of Aldermen with the condition listed in the staff report and to **recommend approval** of amendments to the Detail to Development Standards for The Shoppes at Hawk Ridge to the Board of Aldermen as submitted.”*



DIERBERGS LAKE SAINT LOUIS

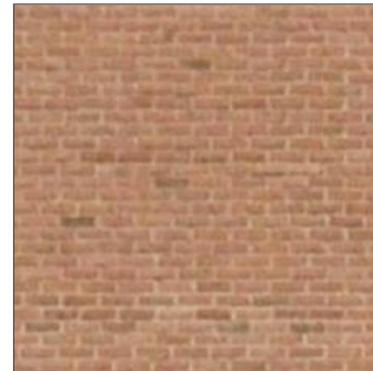




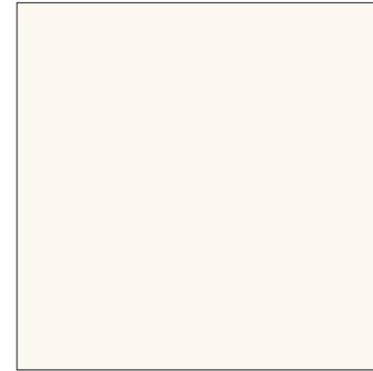
EAST ELEVATION



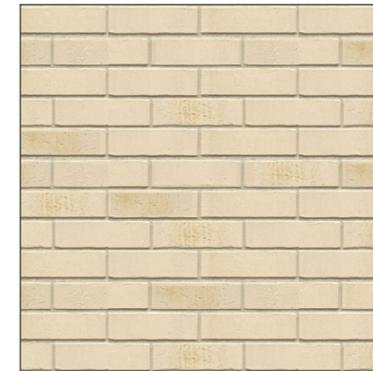
STONE VENEER



BRICK



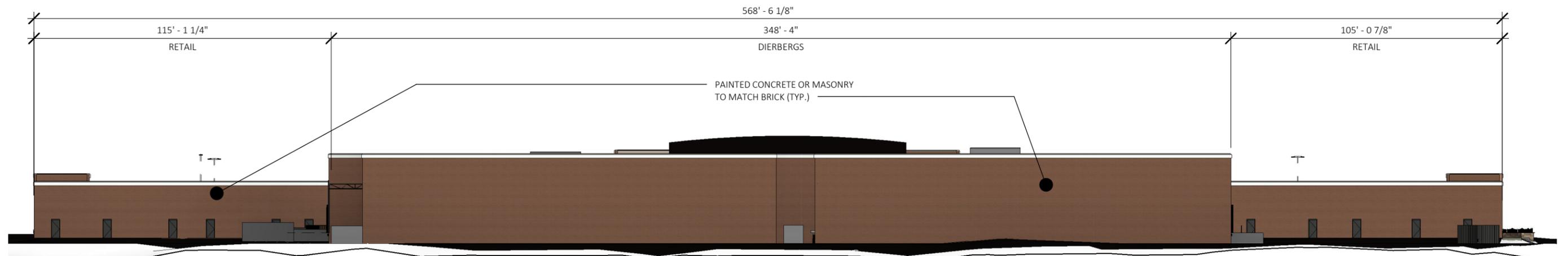
EIFS TRIM



CREAM BRICK



DARK BRONZE METAL AWNINGS

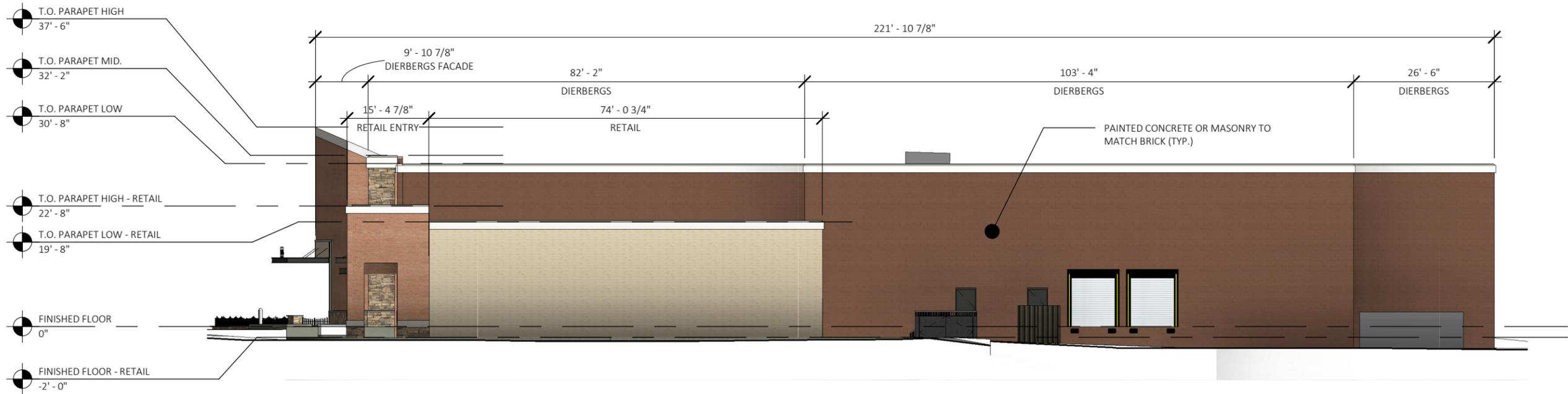


WEST ELEVATION

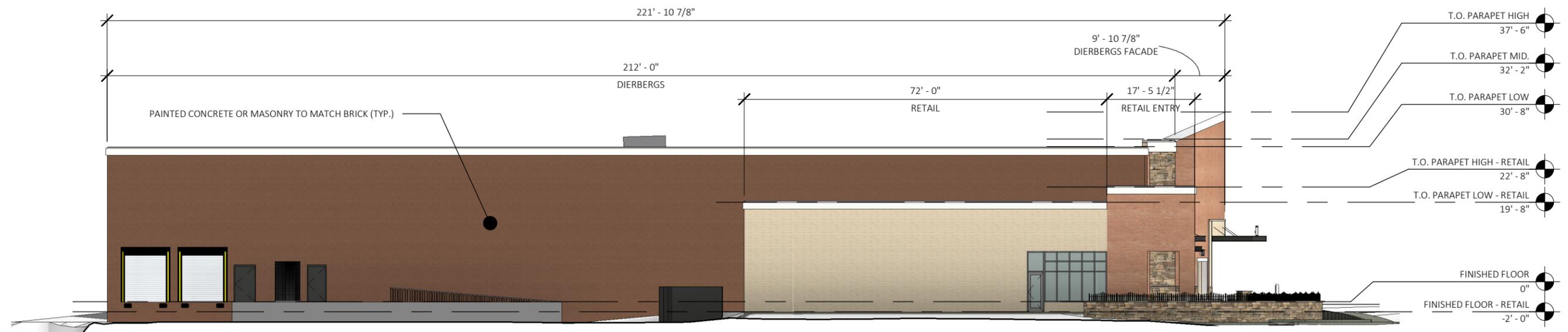


DIERBERGS LAKE SAINT LOUIS





NORTH ELEVATION



SOUTH ELEVATION



DIERBERGS LAKE SAINT LOUIS





1
S1.0

EAST ELEVATION

SCALE: 1" = 40'-0"

TOTAL FACADE FT²: 10,901.54 FT²

FLORIST AND GIFTS SIGN: 30.25 FT²



2
S1.0

FLORIST & GIFTS

SCALE: 1/8" = 1'-0"

BOB'S WINE SHOP SIGN: 49.9 FT²



3
S1.0

BOB'S WINE SHOP

SCALE: 1/8" = 1'-0"

DIERBERGS SIGN: 336.4 FT²

MARKET FRESH FOODS SIGN: 129.09 FT²

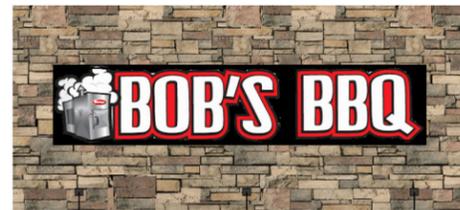


6
S1.0

DIERBERGS

SCALE: 1/8" = 1'-0"

BOB'S BBQ SIGN: 46.9 FT²



4
S1.0

BOB'S BBQ

SCALE: 1/8" = 1'-0"

DIERBERGS KITCHEN SIGN: 46.8 FT²



5
S1.0

DIERBERGS KITCHEN

SCALE: 1/8" = 1'-0"

BUILDING SIGNAGE RATIO

TOTAL FT ² OF SIGNAGE	639.34 FT ²
% OF TOTAL FACADE FT ²	5.8%
<small>= (639.34/10,901.54)x100</small>	



DIERBERGS LAKE SAINT LOUIS



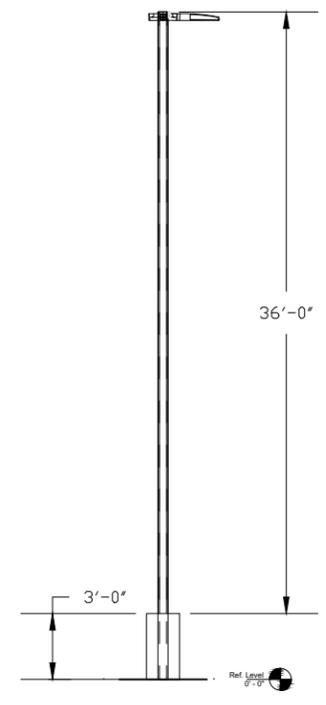
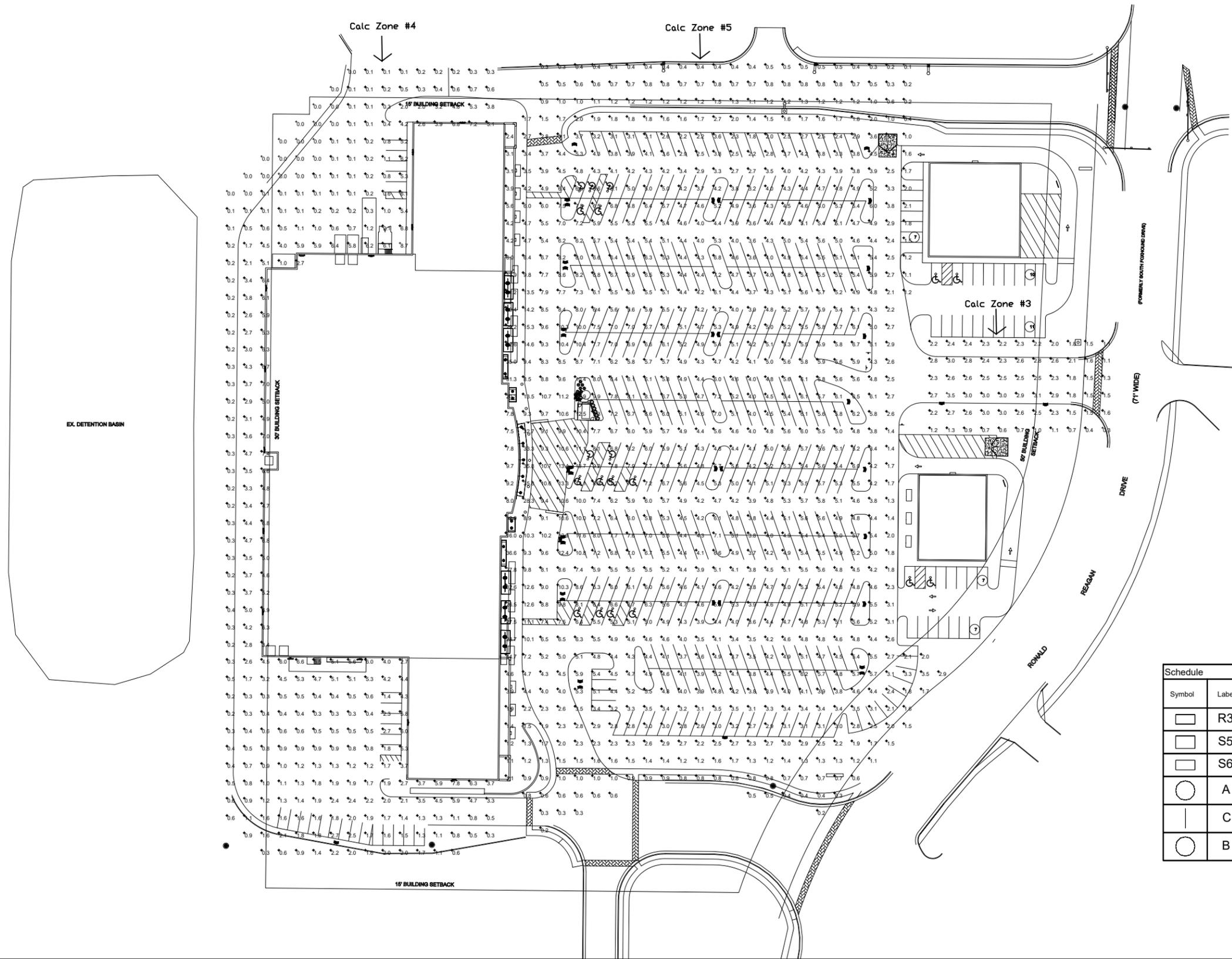
MONUMENT SIGN "A"

MONUMENT SIGN "B"



DIERBERGS LAKE SAINT LOUIS





ALL POLES AND LUMINARIES SHALL BE BLACK IN COLOR. BASES SHALL BE UNPAINTED CONCRETE.

Statistics						
Description	Symbol	Avg	Min	Avg/Min	Max	Max/Min
Calc Zone #3	+	2.5 fc	0.2 fc	12.5:1	4.6 fc	23.0:1
Calc Zone #4	+	2.0 fc	0.0 fc	N/A	8.5 fc	N/A
Calc Zone #5	+	5.3 fc	0.1 fc	53.0:1	39.1 fc	391.0:1

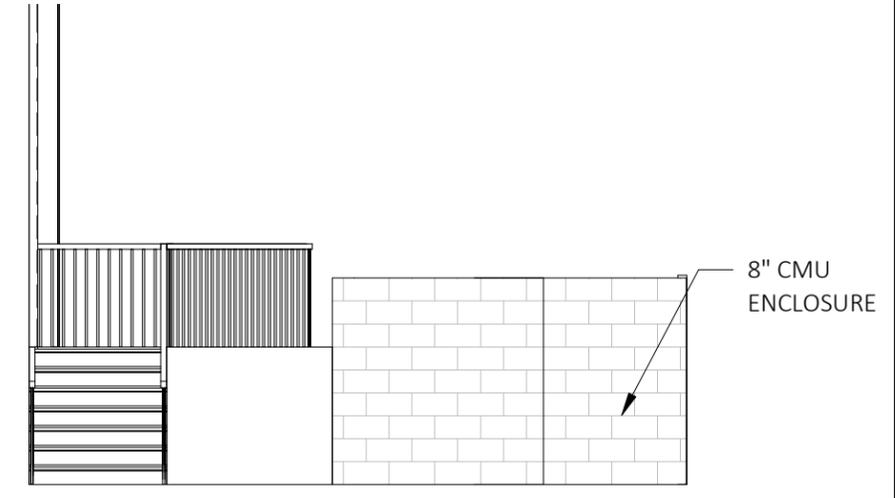
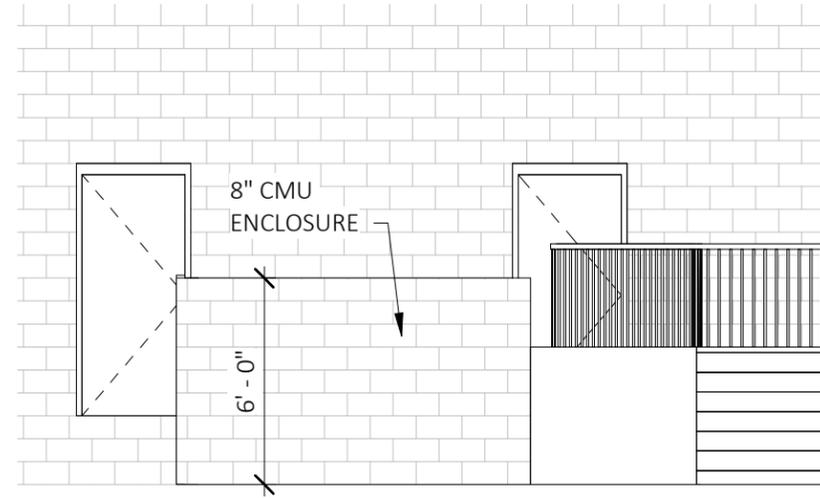
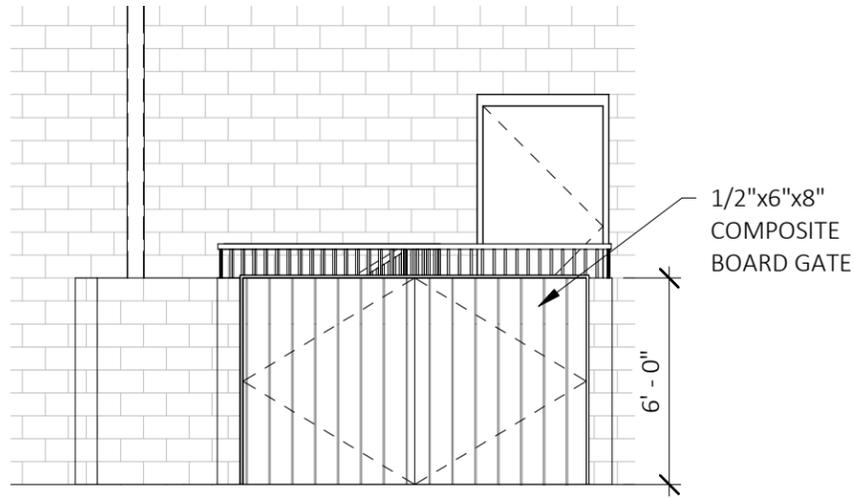
Schedule							
Symbol	Label	QTY	Catalog Number	Number Lamps	Lumens per Lamp	LLF	Wattage
□	R3	14	GWC-AF-02-LED-E1-T2-8030	32	311	1	113
□	S5	32	GLEON-AF-06-LED-E1-T4W-8030	96	301	1	333
□	S6	9	GLEON-AF-07-LED-E1-T4W-8030	112	305	1	391
○	A	9	HC640D010-HM634840-61MDC	1	4095	1	40
—	C	12	8ST2L8040R	1	8866	1	78.18
○	B	4	HC620D010-HM612840-61MDC	1	2055	1	20

ALL LIGHT FIXTURES SHALL BE SHIELDED OR CONSTRUCTED SO THAT NO LIGHT RAYS ARE EMITTED BY THE INSTALLED FIXTURE AT ANGLES ABOVE THE HORIZONTAL PLANE.



DIERBERGS LAKE SAINT LOUIS

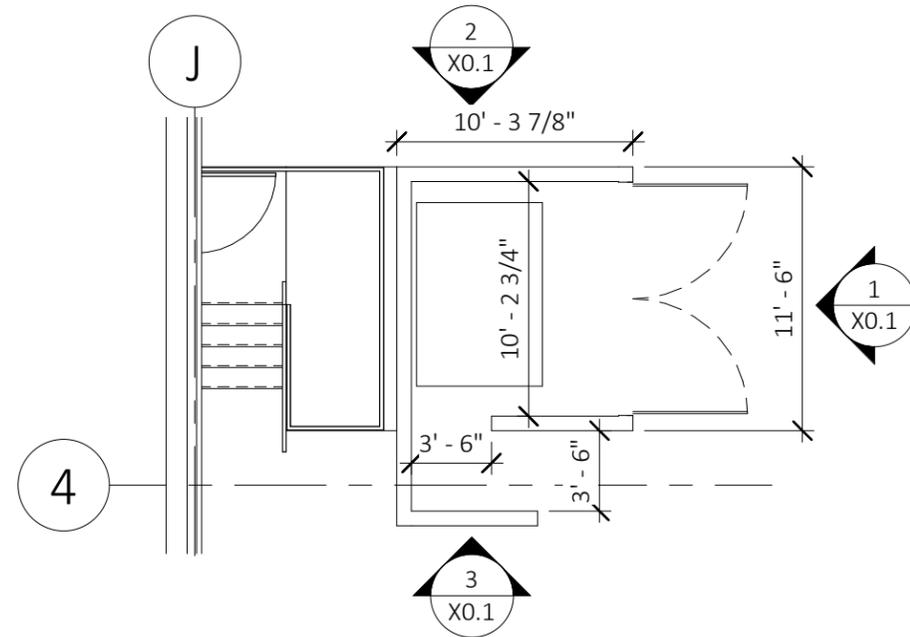




1 FRONT ELEVATION
X0.1 SCALE: 3/16" = 1'-0"

2 RIGHT ELEVATION
X0.1 SCALE: 3/16" = 1'-0"

3 LEFT ELEVATION
X0.1 SCALE: 3/16" = 1'-0"



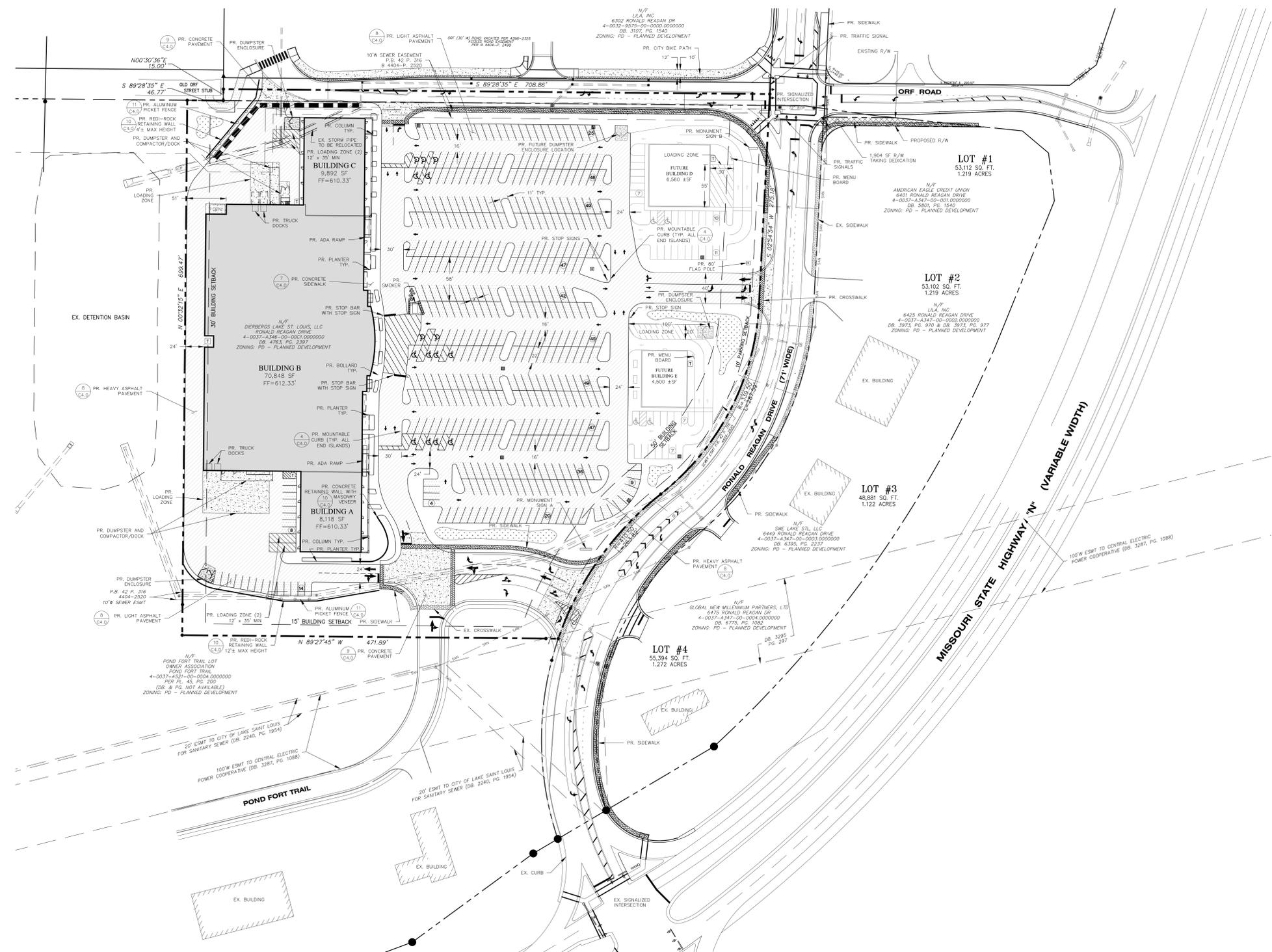
4 TRASH ENCLOSURE PLAN
X0.1 SCALE: 1/8" = 1'-0"

TRASH ENCLOSURE EXHIBIT



DIERBERGS LAKE SAINT LOUIS





LEGEND OF SYMBOLS

EXISTING	UTILITY POLE	PROPOSED
○	UTILITY POLE	○
○	GUY WIRE	○
○	TREE	○
○	ELECTRIC LINE (OVERHEAD)	○
○	TELEPHONE LINE (OVERHEAD)	○
○	USE	○
○	ELECTRIC LINE (UNDERGROUND)	○
○	FIBER OPTIC CABLE	○
○	TELEPHONE LINE (UNDERGROUND)	○
○	WATER MAIN LINE	○
○	GAS LINE	○
○	CABLE LINE	○
○	SANITARY LINE	○
○	STORM LINE	○
○	FORCE MAIN	○
○	MANHOLE WITH STORM SEWER	○
○	GRATE INLET WITH STORM SEWER	○
○	INLET WITH STORM SEWER	○
○	MANHOLE WITH SANITARY SEWER	○
○	STORM STRUCTURE NUMBER	○
○	SANITARY STRUCTURE NUMBER	○
○	LIGHT	○
○	FIRE DEPARTMENT CONNECTION	○
○	FIRE HYDRANT	○
○	GAS VALVE	○
○	GAS METER	○
○	CLEAN OUT	○
○	WATER VALVE	○
○	WATER METER	○
○	CONTOUR	○
○	SPOT ELEVATION	○
○	SPOT ELEVATION AT TOP OF CURB	○
○	SPOT ELEVATION AT BOTTOM OF CURB	○
○	SPOT ELEVATION AT FLOWLINE OF GUTTER	○
○	SPOT ELEVATION AT TOP OF WALL	○
○	SPOT ELEVATION AT BOTTOM OF WALL	○
○	SPOT ELEVATION AT TOP OF BANK	○
○	SPOT ELEVATION AT BOTTOM OF BANK	○
○	STREET SIGN	○
○	FENCE	○

PERTINENT INFORMATION

PROPERTY ADDRESS: ORF RD & RONALD REAGAN DR
 MUNICIPALITY: CITY OF LAKE ST. LOUIS
 STATE: MISSOURI
 ZIP CODE: 63367
 TOTAL SITE AREA: 11.14 ACRES (483,818 SF)
 PARCEL ID: 4-0037-A348-00-0001000000

BUILDING SETBACKS:
 FRONT = 30'
 SIDE = 15'
 REAR = 30'

BUILDING HEIGHT REQUIREMENTS:
 STRUCTURE SHALL NOT EXCEED 3 STORES OR FORTY-FIVE (45) FEET, WHICHEVER IS LESS

PARKING SETBACK: 10' ALL SIDES
PROPOSED BUILDING HEIGHT: 37.5' MAX

SHEET INDEX

C1.0 - PRELIMINARY SITE PLAN
C2.0 - UTILITY PLAN
C3.0 - GRADING PLAN
C4.0 - DETAILS

NOTE
 THE APPLICABLE PROVISIONS OF THE HD ZONING DISTRICT AND THE CITY'S MUNICIPAL CODE SHALL APPLY WHERE NO STANDARD IS SPECIFIED ON THIS PLAN.

UTILITY NOTE
 ALL UTILITY SERVICES SHALL BE LOCATED UNDERGROUND AND BORED UNDER EXISTING CITY OF LAKE SAINT LOUIS ROADWAYS.

BUILDING	TOTAL		COMMERCIAL		RETAIL/SERVICE		SIT-DOWN		FAST-FOOD	
	GSF	PARKING	GSF	PARKING	GSF	PARKING	GSF	PARKING	GSF	PARKING
A	8,118	7,306	51	-	4,606	24	2,700	27	-	-
B	70,848	56,622	284	56,622	284	-	-	-	-	-
C	9,892	8,903	45	-	8,903	45	-	-	-	-
D	6,560	5,904	69	-	2,087	11	-	-	3,817	58
E	4,500	4,050	61	-	-	-	-	-	4,050	61
TOTAL	99,918	82,785	510	56,622	284	15,596	80	2,700	27	7,887

****INTENDED USES OF BUILDINGS A-E, EXCLUDING BUILDING B, ARE SUBJECT TO CHANGE BASED ON END USER INTEREST****

GROSS LEASABLE SQUARE FEET TABLE

BUILDING A	7,306 SF
BUILDING B	56,622 SF
BUILDING C	8,903 SF
BUILDING D	5,904 SF
BUILDING E	4,050 SF
TOTAL	82,785 SF

LSL PARKING RATIOS

COMMERCIAL	0.005 SPACES/SF
RETAIL/SERVICE	0.005 SPACES/SF
SIT-DOWN	0.01 SPACES/SF
FAST-FOOD	0.015 SPACES/SF

PARKING REQUIRED

COMMERCIAL	284 SPACES
RETAIL/SERVICE	80 SPACES
SIT-DOWN	27 SPACES
FAST-FOOD	119 SPACES
TOTAL	510 SPACES

PARKING PROVIDED

466 SPACES + 19 HS SPACES	
TOTAL	485 SPACES

LOADING SPACE TABLE

	REQUIRED	PROPOSED
BUILDING A	7,306 SF	2
BUILDING B	56,622 SF	5
BUILDING C	8,903 SF	2
BUILDING D	5,904 SF	2
BUILDING E	4,050 SF	1

PAVEMENT LEGEND

LIGHT ASPHALT PAVEMENT (10,150 SY)	[Symbol]
HEAVY ASPHALT PAVEMENT (58,750 SY)	[Symbol]
CONCRETE PAVEMENT (1,950 SY)	[Symbol]
STAMPED CONCRETE (500 SY)	[Symbol]
PR. CONCRETE SIDEWALK	[Symbol]
EX. CONCRETE SIDEWALK	[Symbol]

CASCO CIVIL
 A CASCO Diversified Corporation Company
 12.Sunnen Drive, Suite 100, St. Louis, MO 63143 T-314.821.1100

THE SHoppes AT HAWK RIDGE
 ORF RD & RONALD REAGAN DR
 LAKE SAINT LOUIS, MO 63367



CONSTR. DOC. & REVISIONS
 No. Description
 1 City Comments
 Date 07-30-20

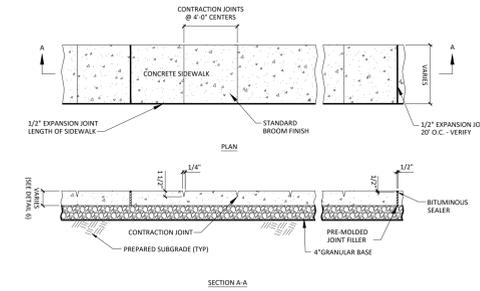
CASCO DIVERSIFIED CORPORATION
 CERTIFICATE OF AUTHORITY
 #00611 12/31/21

STATE OF MISSOURI
 PROFESSIONAL SEAL
 THOMAS E. BURKETT
 PROFESSIONAL OF RECORD
 Date: 07-30-20
 License No. PE-00000314
 Expiration Date 12/31/20

Drawn By/Checked By: EIS/TEB
 Project Number: 919446
 Date: 07-24-20

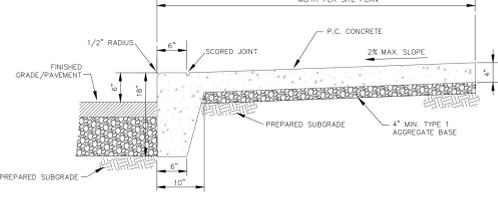
PRELIMINARY SITE PLAN
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NOT FOR CONSTRUCTION
 FOR PLANNING PURPOSES ONLY

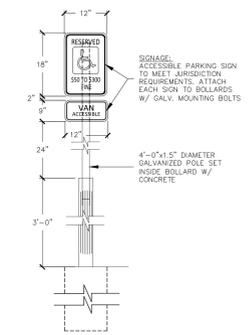


1 TYPICAL SLAB JOINT DETAILS
C4.0 NO SCALE

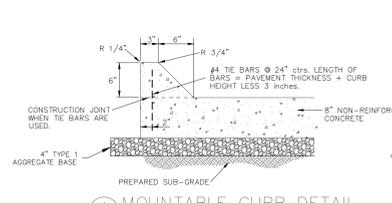
SUBGRADE PREPARATION NOTE
ALL EXPOSED AND/OR DISTURBED GRANULAR BASE AREAS SHALL BE COMPACTED TO A MINIMUM OF 96% OF OPTIMUM DENSITY IN ACCORDANCE WITH M D 1587 AT OPTIMUM MOISTURE CONTENT AND TO A MINIMUM DEPTH OF 8". ALL SURFACE SOIL AREAS EXPOSED BY EXCAVATIONS AND GRADING SHALL BE COMPACTED TO A MINIMUM OF 96% OF OPTIMUM DENSITY IN ACCORDANCE WITH M D 1587 AT OPTIMUM MOISTURE CONTENT AND TO A MINIMUM DEPTH OF 12". FILL WHERE REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE AND SHALL BE COMPACTED AS OUTLINED ABOVE. THE ON-SITE TESTING COMPANY SHALL PROVIDE TESTING AND INSPECTION OF THE SOIL WORK PRIOR TO PLACING CONCRETE.



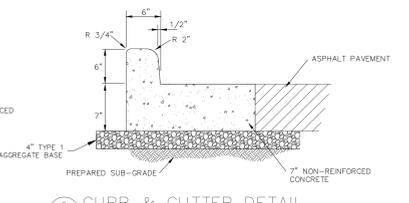
2 COMBINATION CURB & SIDEWALK DETAIL
C4.0 NO SCALE



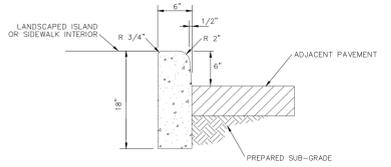
3 HANDICAP PARKING SIGN
C4.0 NO SCALE



4 MOUNTABLE CURB DETAIL
C4.0 NO SCALE

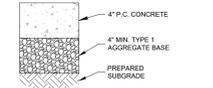


5 CURB & GUTTER DETAIL
C4.0 NO SCALE

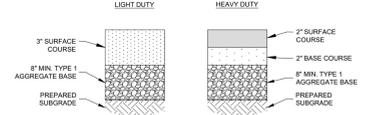


6 BARRIER CURB DETAIL
C4.0 NO SCALE

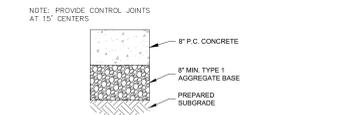
- NOTES:**
- ALL CONCRETE SHALL BE MIN. FC=3000 P.S.I.
 - ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL ORDINANCES.
 - ANY UNSUITABLE SOIL (AS DETERMINED BY SOILS ENGINEER) BELOW STRUCTURE SHALL BE REMOVED AND REPLACED WITH SELECT EARTHEN MATERIAL COMPACTED IN PLACE WITH VIBRATORY TAMPER.
 - PROVIDE 1/2" EXPANSION JOINTS AT 20' CENTERS.



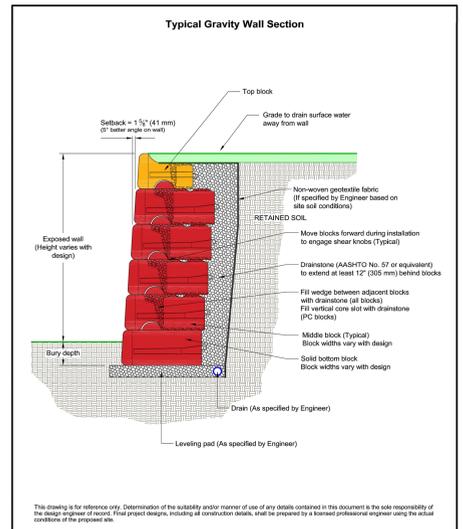
7 CONCRETE SIDEWALK DETAIL
C4.0 NO SCALE



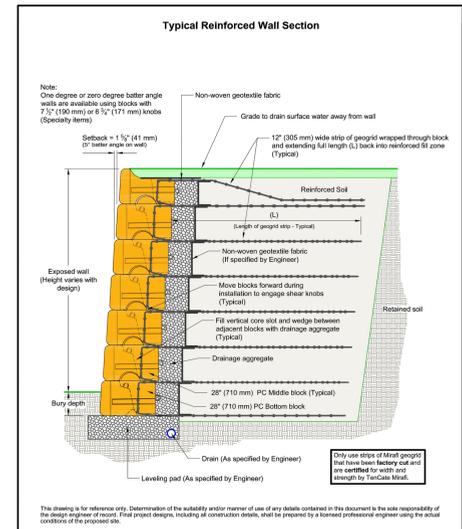
8 ASPHALT PAVEMENT DETAILS
C4.0 NO SCALE



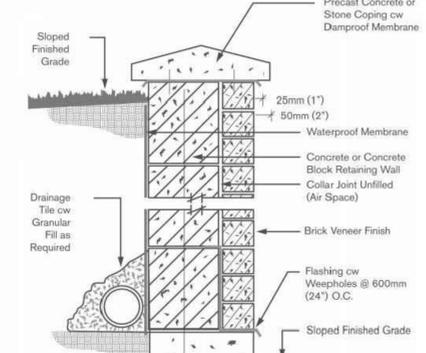
9 CONCRETE PAVEMENT DETAIL
C4.0 NO SCALE



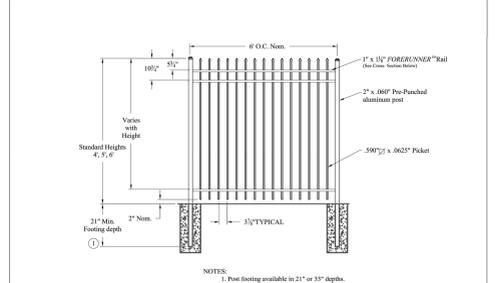
10 TYPICAL GRAVITY WALL DETAIL
C4.0 NO SCALE



11 TYPICAL REINFORCED WALL SECTION
C4.0 NO SCALE



CONCRETE WITH MASONRY VENEER WALL DETAIL



11 ALUMINUM FENCE DETAIL
C4.0 NO SCALE



CONSTR. DOC. & REVISIONS
No. Description
1 City Comments
Date 07-30-20

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#00001312/1/21



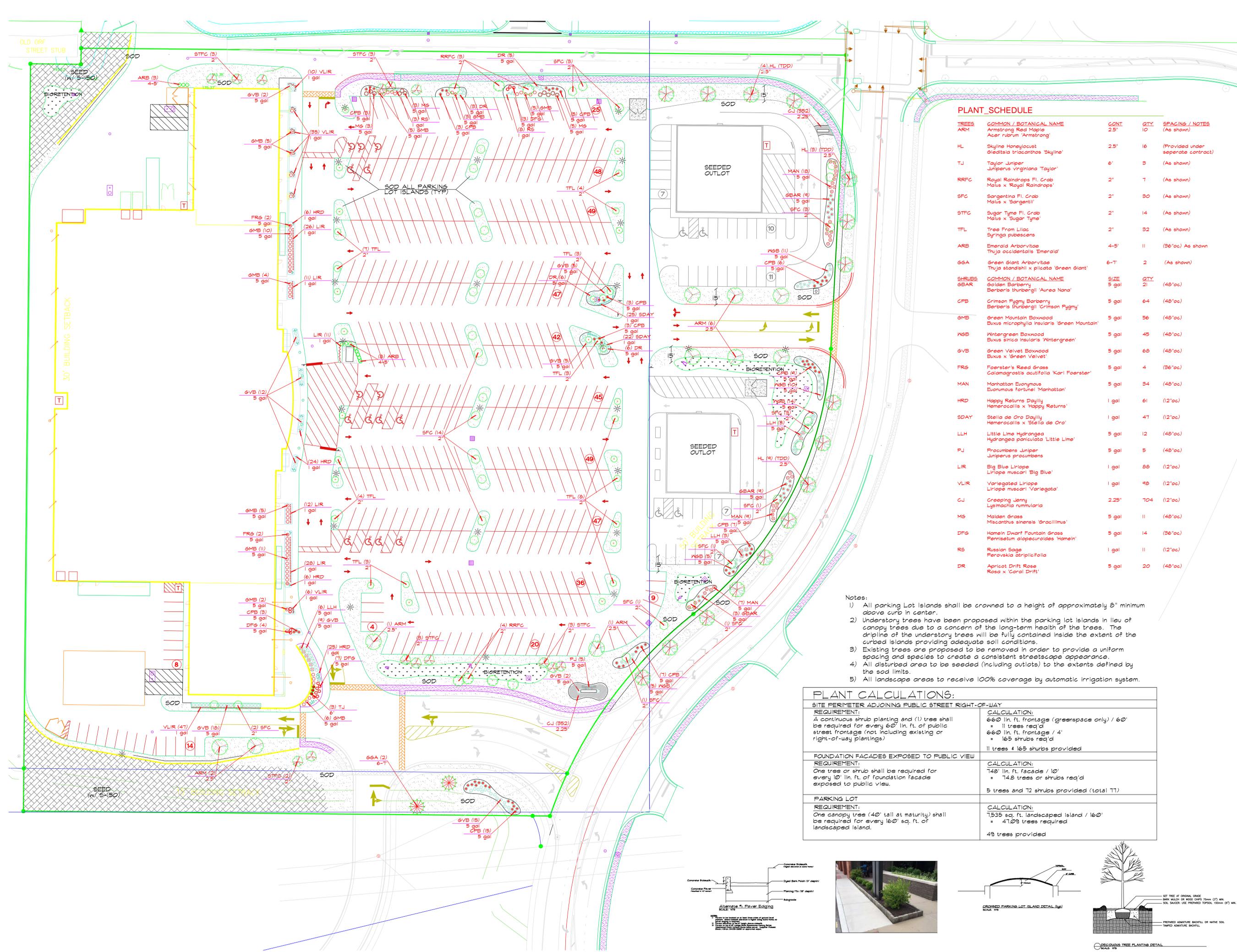
PROFESSIONAL OF RECORD
Buck B. Thomas E.
License No. PE-200800324
Expiration Date 12/31/20

Drawn By/Checked By: EIS/TER
Project Number: 919446
Date: 07-24-20

DETAILS

C4.0

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FOR PLANNING PURPOSES ONLY



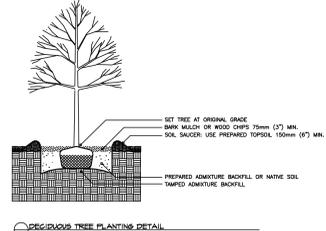
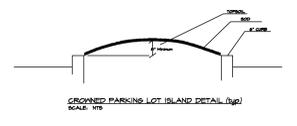
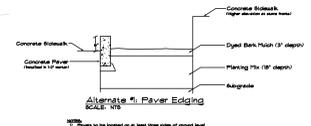
PLANT SCHEDULE

TREES	COMMON / BOTANICAL NAME	CONT	QTY	SPACING / NOTES
ARM	Armstrong Red Maple <i>Acer rubrum</i> 'Armstrong'	2.5'	10	(As shown)
HL	Skyline Honeylocust <i>Gleditsia triacanthos</i> 'Skyline'	2.5'	16	(Provided under separate contract)
TJ	Taylor Juniper <i>Juniperus virginiana</i> 'Taylor'	6'	3	(As shown)
RRFC	Royal Raindrops Fl. Crab <i>Malus x 'Royal Raindrops'</i>	2'	7	(As shown)
SFC	Sargentina Fl. Crab <i>Malus x 'Sargentii'</i>	2'	30	(As shown)
STFC	Sugar Tyme Fl. Crab <i>Malus x 'Sugar Tyme'</i>	2'	14	(As shown)
TFL	Tree From Lilac <i>Syringa pubescens</i>	2'	32	(As shown)
ARB	Emerald Arborvitae <i>Thuja occidentalis</i> 'Emerald'	4-5'	11	(36"oc) As shown
SSA	Green Giant Arborvitae <i>Thuja standishii x plicata</i> 'Green Giant'	6-7'	2	(As shown)
SHRUBS	COMMON / BOTANICAL NAME	SIZE	QTY	
GBAR	Golden Barberry <i>Berberis thunbergii</i> 'Aurea Nana'	5 gal	21	(48"oc)
CPB	Crimson Pigmy Barberry <i>Berberis thunbergii</i> 'Crimson Pigmy'	5 gal	64	(48"oc)
GMB	Green Mountain Boxwood <i>Buxus microphylla insularis</i> 'Green Mountain'	5 gal	56	(48"oc)
WGB	Wintergreen Boxwood <i>Buxus sinica insularis</i> 'Wintergreen'	5 gal	45	(48"oc)
GVB	Green Velvet Boxwood <i>Buxus x 'Green Velvet'</i>	5 gal	68	(48"oc)
FRG	Foerster's Reed Grass <i>Calamagrostis acutifolia</i> 'Karl Foerster'	5 gal	4	(36"oc)
MAN	Manhattan Evonymus <i>Evonymus fortunei</i> 'Manhattan'	5 gal	34	(48"oc)
HRD	Happy Returns Daylily <i>Hemerocallis x 'Happy Returns'</i>	1 gal	61	(12"oc)
SDAY	Stella de Oro Daylily <i>Hemerocallis x 'Stella de Oro'</i>	1 gal	47	(12"oc)
LLH	Little Lime Hydrangea <i>Hydrangea paniculata</i> 'Little Lime'	5 gal	12	(48"oc)
PJ	Procumbens Juniper <i>Juniperus procumbens</i>	5 gal	5	(48"oc)
LIR	Big Blue Liriope <i>Liriope muscari</i> 'Big Blue'	1 gal	88	(12"oc)
VLIR	Variegated Liriope <i>Liriope muscari</i> 'Variegata'	1 gal	98	(12"oc)
CJ	Creeping Jemy <i>Lysimachia nummularia</i>	2.25'	704	(12"oc)
MG	Maiden Grass <i>Miscanthus sinensis</i> 'Gracillimus'	5 gal	11	(48"oc)
DFG	Hamel Dwarf Fountain Grass <i>Fennisetum alopecuroides</i> 'Hamel'	5 gal	14	(36"oc)
RS	Russian Sage <i>Perovskia atriplicifolia</i>	1 gal	11	(12"oc)
DR	Apricot Drift Rose <i>Rosa x 'Coral Drift'</i>	5 gal	20	(48"oc)

- Notes:
- All parking Lot Islands shall be crowned to a height of approximately 6" minimum above curb in center.
 - Understory trees have been proposed within the parking lot islands in lieu of canopy trees due to a concern of the long-term health of the trees. The dripline of the understory trees will be fully contained inside the extent of the curbed islands providing adequate soil conditions.
 - Existing trees are proposed to be removed in order to provide a uniform spacing and species to create a consistent streetscape appearance.
 - All disturbed area to be seeded (including outlots) to the extents defined by the sod limits.
 - All landscape areas to receive 100% coverage by automatic irrigation system.

PLANT CALCULATIONS:

REQUIREMENT:	CALCULATION:
SITE PERIMETER ADJOINING PUBLIC STREET RIGHT-OF-WAY A continuous shrub planting and (1) tree shall be required for every 60' lin. ft. of public street frontage (not including existing or right-of-way plantings)	660 lin. ft. frontage (greenspace only) / 60' = 11 trees req'd 660 lin. ft. frontage / 4' = 165 shrubs req'd 11 trees & 165 shrubs provided
FOUNDATION FACADES EXPOSED TO PUBLIC VIEW One tree or shrub shall be required for every 10' lin. ft. of foundation facade exposed to public view.	748' lin. ft. facade / 10' = 74.8 trees or shrubs req'd 5 trees and 72 shrubs provided (total 77)
PARKING LOT One canopy tree (40' tall at maturity) shall be required for every 160' sq. ft. of landscaped island.	7535 sq. ft. landscaped island / 160' = 47.1 trees required 43 trees provided



Drawn by: CJA
 Scale: 1" = 30'
 Date: 6-24-2020
 Revised: 7-6-2020
 7-8-2020
 7-7-2020
 7-8-2020
 7-24-2020
 7-30-2020

BAXTER FARMS
and NURSERIES
 3411 CREVE COEUR MILL ROAD
 ST. LOUIS, MISSOURI 63146
 314/542-9400

Landscape Planting Plan For:
DIERBERGS-LAKE SAINT LOUIS
 Orf Rd. & Ronald Reagan Dr.
 Lake Saint Louis, MO 63367

Drawing Number:
L-1
 of one

July 15, 2020

Mr. Jonathan Hill
Director of Construction and Development
Dierbergs Markets, Inc.
16690 Swingley Ridge Road
Chesterfield, Missouri 63017

RE: Parking Study – Proposed Dierbergs Development
Lake Saint Louis, Missouri
CBB Job Number 78-18-1

Dear Mr. Hill:

As requested, CBB has prepared the following parking study to address the expected parking needs associated with the proposed Dierbergs development in Lake Saint Louis, Missouri.

The purpose of this parking study was to estimate the peak parking demand of the proposed mixed-use development throughout the day assuming build-out and full occupancy of those anticipated uses. The parking study estimated the number of parking spaces needed to serve the needs of the proposed development.

Based upon the site plan provided by CASCO Civil at the commencement of the study, it is our understanding the site would consist of a grocery store along with general retail and restaurant space. A schematic of the concept plan provided is shown in **Figure 1**.

Although the exact users are uncertain at this time, the developer anticipates the following uses:

- Buildings A and C - 18,010 ft² of mixed retail and restaurant space;
- Building B – 70,848 ft² grocery tenant space;
- Outlot (Building D) - 6,560 ft² of mixed retail and restaurant space;
- Outlot (Building E) - 4,500 ft² of mixed retail and restaurant space;

Parking is generally expected to be shared throughout the development. Based on the site plan provided, the development area has a parking supply of 485 parking spaces.





surplus) reduces the need to circulate and search the entire area for the last few available parking spaces, reduces user frustration, provides for recurring peak operating load fluctuations, visitors, misparked vehicles, snow cover, vehicle maneuvering, and vacancies created by reserving spaces for specific users. The supply cushion also provides for unusual peaks in activity on the site.

STANDARD PARKING REQUIREMENTS PER CITY ZONING ORDINANCE

The City's Zoning Ordinance provides minimum off-street parking requirements for a variety of land uses. It should be noted that various land uses were assumed for different buildings for the proposed Dierbergs site development. However, as the tenant mix is confirmed, the actual uses could change. The applicable City Code for the proposed land uses are summarized as follows:

Supermarket/Grocery Store (70,848 SF Proposed): The City parking requirement for “retail food stores over four thousand (4,000) SF” is one (1) parking space for every two hundred (200) SF of gross leasable floor area. Approximately 14,226 SF of this store was excluded as backroom storage space related to the maintenance of the building. As such, the proposed 56,622 SF of gross leasable area of supermarket/grocery space would result in a requirement of 284 parking spaces for the grocery store.

Retail/Service Store (17,442 SF Proposed): The City parking requirement for a “retail store, personal service establishment or any other commercial use (except amusement or recreation) not otherwise provided for herein” is one (1) parking spaces for every (200) square feet (SF) of gross leasable floor area. The gross leasable floor area was assumed to be 90% of the total gross area. This would result in a requirement of 79 spaces for the proposed 15,698 SF of gross leasable floor area.

High-Turnover Sit-Down Restaurant (2,907 SF Restaurant Proposed): The City parking requirement for a “restaurant, tavern, or cocktail lounge” is one (1) parking space per one hundred (100) SF of floor area. The gross leasable floor area was assumed to be 90% of the total gross area. As such, the proposed 2,616 SF of gross leasable area of high-turnover sit-down restaurant space would result in a requirement of 27 parking spaces.

Fast-Food/Fast Casual Restaurant with Drive-Through (8,721 SF Proposed): The City parking requirement for a “restaurant, drive-in” is one (1) parking space for every sixty seven (67) SF of floor area. Again, the gross leasable floor area was assumed to be 90% of the total gross area. As such, the proposed 7,849 SF of gross leasable area of fast-food restaurant space would result in a requirement of 118 parking spaces.



Table 1 summarizes the straight application of City’s Zoning Ordinance for the assumed land uses for the Dierbergs Lake Saint Louis development. As shown in **Table 1**, the straight application of City’s Zoning Ordinance would require 508 total off-street parking spaces.

Table 1: City’s Zoning Ordinance Parking Requirements

Land Use	Parking Spaces Required per City Code	Total
Supermarket/Grocery	5 per 1000 SF GLFA	284
Retail/Service Store	5 per 1000 SF GLFA	79
Sit-Down Restaurant	10 per 1000 SF	27
Fast-Food/Fast Casual Restaurant	15 per 1000 SF	118
Total		508

The retail uses within the development area would share a common parking lot. As such, the hourly fluctuations and parking demand for the respective uses within the redevelopment area were investigated to determine the parking necessary to accommodate the overall redevelopment area.

CBB has performed parking demand studies at similar Dierbergs shopping centers around the Saint Louis area. Specifically, the Clarkson Clayton Center in Ellisville, Missouri was counted in 2008, West Oak Square in Creve Coeur, Missouri was counted in 2009, and Brentwood Pointe Shopping Center in Brentwood, Missouri was counted in 2010. The purpose of these studies was to determine the existing parking demand for these centers as well as the ability of the existing parking supply to accommodate store expansions.

It should be noted that while these parking demand studies were conducted approximately ten years ago, each of the sites was fully developed at the time. Therefore, parking demand for the site can be reasonably assumed to be similar today as it was during the time of the study. Furthermore, population growth in the surrounding areas of these locations has not increased significantly since the time of the studies. Also considering the increase in online shopping over the last ten years, it is reasonable to expect that overall parking demand for these shopping centers would be equivalent today to the time when the studies were counted.

ESTIMATED PARKING DEMAND BASED ON DATA FROM DIERBERGS CLARKSON-CLAYTON CENTER

The Clarkson-Clayton Shopping Center, located in Ellisville, Missouri, consists of approximately 132,284 ft² of mixed retail and restaurant space, anchored by a 69,790 ft² Dierbergs grocery store. The site has two main buildings. One is approximately 84,507 ft² in size and contains the Dierbergs grocery store along with several other mixed-use tenants. A second, measuring approximately 47,777 ft² has a variety of retail, restaurant, and service uses. The site also contains four outlot buildings. However, these outlots contain their own parking supply which



is adequate for the demand generated and thus were not included in either the parking demand counts or the building square footage calculations at the site.

In order to quantify the existing parking demands for the Clarkson-Clayton center, parking counts were conducted from 3:00 p.m. to 7:00 p.m. on a Thursday and 11:00 a.m. to 5:00 p.m. on a Saturday, generally the peak parking demand periods for a typical week for this type of development. These counts determined the number of occupied spaces on half-hour intervals during the study periods. The existing parking supply was divided into “zones” in an effort to isolate the locations where demand is the heaviest. The parking inventory zones are identified in **Figure 2**. The results of the parking surveys are summarized in **Tables 2** and **3** for the weekday and Saturday, respectively.

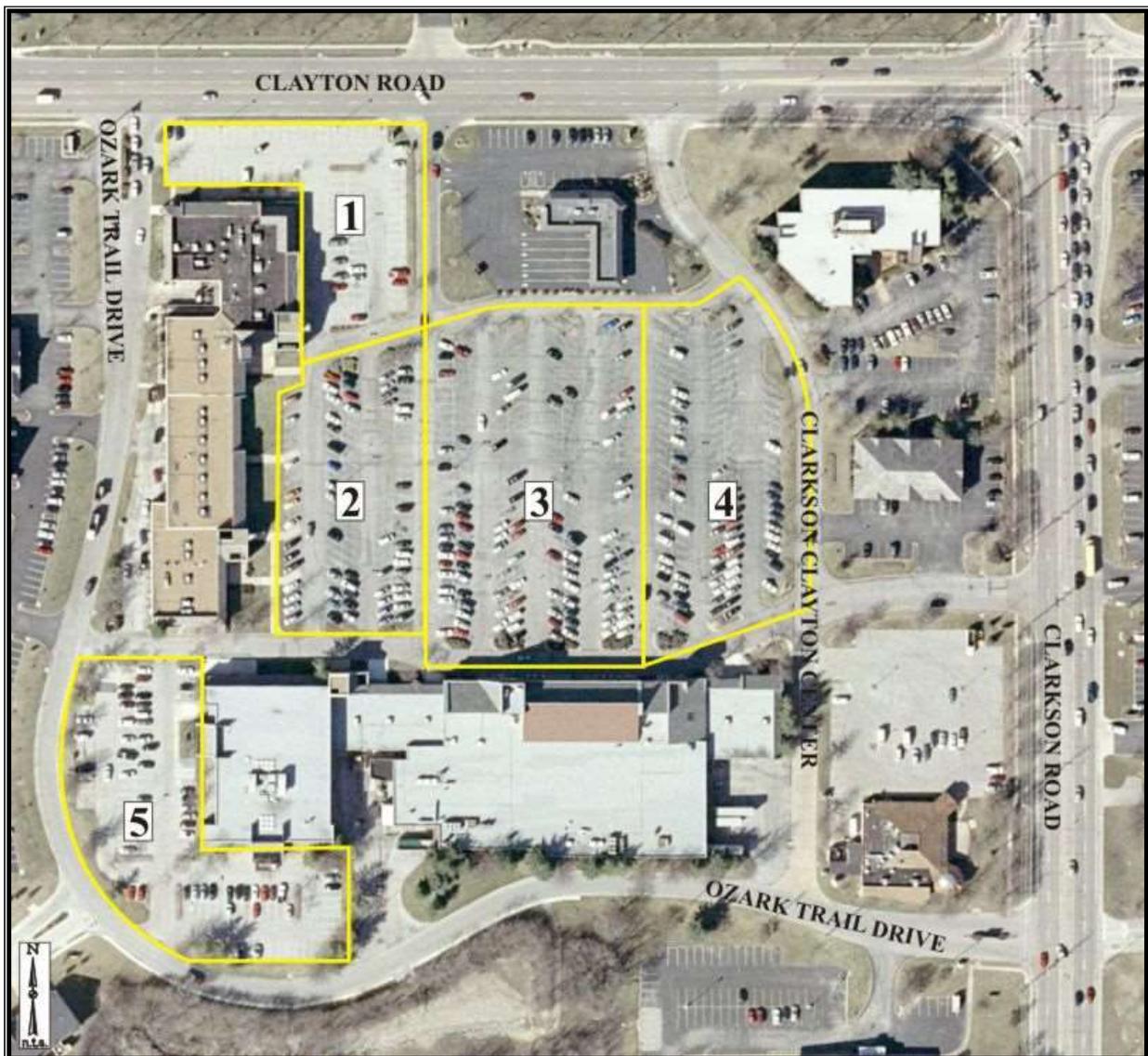


Figure 2: Clarkson-Clayton Center Parking Zones



Table 2 Clarkson-Clayton Center Existing Weekday Parking Supply and Demand						
Time	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	TOTAL
<i>SUPPLY</i>	95	124	259	145	117	740
3:00 PM	12	50	68	24	52	206
3:30 PM	10	41	83	27	54	215
4:00 PM	12	55	81	29	52	229
4:30 PM	30	59	66	32	45	232
5:00 PM	39	54	65	37	34	229
5:30 PM	55	58	73	35	27	248
6:00 PM	67	54	75	50	25	271
6:30 PM	61	49	73	52	21	256
7:00 PM	59	42	80	49	20	250
Maximum Weekday Demand	67	59	83	52	54	271
Maximum Weekday Occupancy	71%	48%	32%	36%	46%	37%



Table 3 Clarkson-Clayton Center Existing Saturday Parking Supply and Demand						
Time	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	TOTAL
SUPPLY	95	124	259	145	117	740
11:00 AM	11	51	81	40	30	213
11:30 PM	15	51	71	36	28	201
12:00 PM	37	62	80	48	33	260
12:30 PM	48	53	70	48	36	255
1:00 PM	58	58	70	52	28	266
1:30 PM	43	63	77	42	36	261
2:30 PM	40	58	72	43	25	238
3:00 PM	20	43	68	39	26	196
3:30 PM	16	41	73	30	24	184
4:00 PM	29	43	73	32	15	192
4:30 PM	26	42	74	31	17	190
5:00 PM	37	46	79	40	21	223
Maximum Saturday Demand	58	62	81	52	36	266
Maximum Saturday Occupancy	89%	50%	31%	36%	31%	36%

As can be seen in Tables 2 and 3, a peak parking demand of 271 spaces for the shopping center occurred on a weekday at 6:00 p.m. in the evening. This peak represents approximately 37% of the existing parking supply. The Saturday parking demands were approximately the same with a peak parking demand of 266 spaces occurring at 1:00 p.m. in the afternoon which represents approximately 36% of the existing supply.

Figure 3 displays the percentages of occupied parking spaces throughout the weekday study period for the entire shopping center. As can be seen, the overall peak parking utilization for a weekday occurred at 6:00 p.m., at which time approximately 37% of the spaces (271 of 740 total spaces) were occupied. The shopping center experienced fairly consistent utilization throughout the weekday study period.

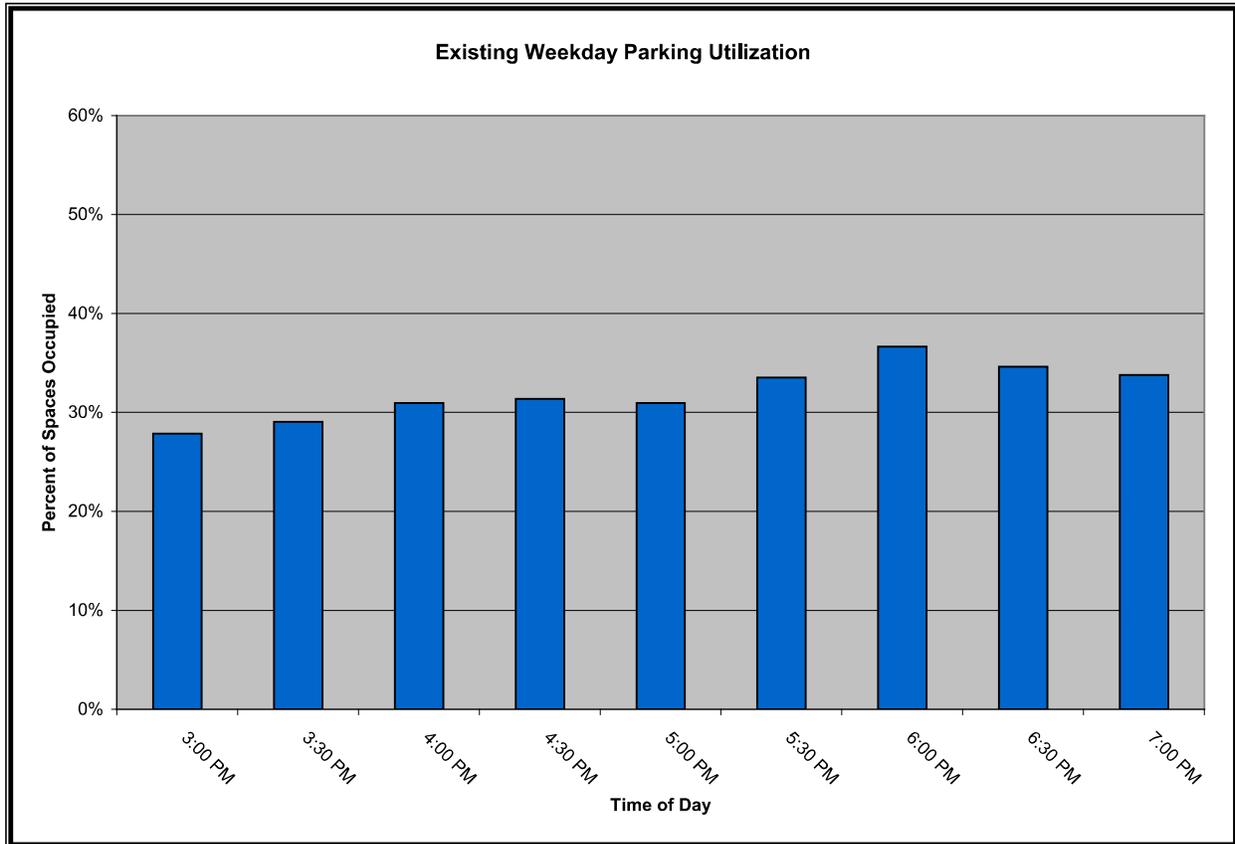


Figure 3: Existing Weekday Parking Utilization Clarkson-Clayton Center (Overall Site)

Figure 4 displays the percentages of occupied parking spaces throughout the Saturday study period for the entire shopping center. As can be seen, the overall peak parking utilization for a Saturday occurred at 1:00 p.m., at which time approximately 36% of the spaces (266 of 740 total spaces) were occupied. The shopping center experienced a utilization of approximately 25% to 36% throughout the Saturday study period.

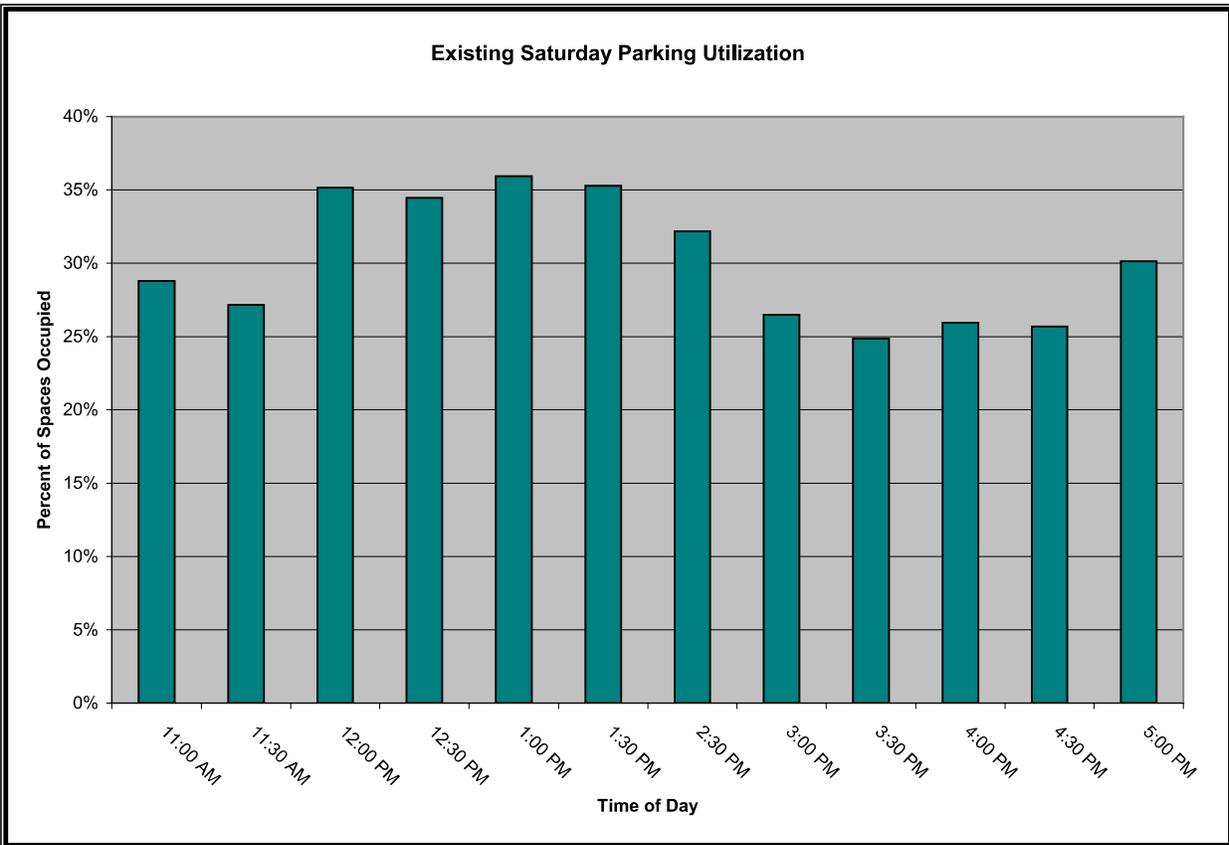


Figure 4: Existing Saturday Parking Utilization Clarkson-Clayton Center (Overall Site)

The existing peak parking demand for the overall shopping center was only 271 parking spaces. Factoring in a 15% cushion for the site’s parking supply, peak parking demand for the Clarkson-Clayton Center would be 302 parking spaces, or 2.41 spaces per 1000 ft² of building space.

ESTIMATED PARKING DEMAND BASED ON DATA FROM DIERBERGS WEST OAK SQUARE

West Oak Square, located in Creve Coeur, Missouri, consists of approximately 147,593 ft² of mixed retail and restaurant space, anchored by a 75,236 ft² Dierbergs grocery store. The site has two main buildings. One is approximately 91,610 ft² in size and contains the Dierbergs grocery store along with several other mixed-use tenants. A second, measuring approximately 41,568 ft² contains a variety of retail, restaurant, and service uses. The site also contains two outlot buildings; a 3,900 ft² retail building and a 10,515 ft² bank with drive thru. The bank outlot has a dedicated parking supply that’s sufficient for the building’s demand. However, this lot was included in the parking demand counts and therefore the building square footage was included in the site estimates.

In order to quantify the existing parking demands for West Oak Square, parking counts were conducted from 10:00 a.m. to 7:00 p.m. on a Tuesday, generally the peak parking demand



periods for a typical weekday for this type of development. These counts determined the number of occupied spaces on hourly intervals (and half hour intervals during the midday peak) during the study periods. The existing parking supply was divided into “zones” in an effort to isolate the locations where demand is the heaviest. The parking inventory zones are identified in **Figure 5**. The results of the parking survey are summarized in **Table 4**.

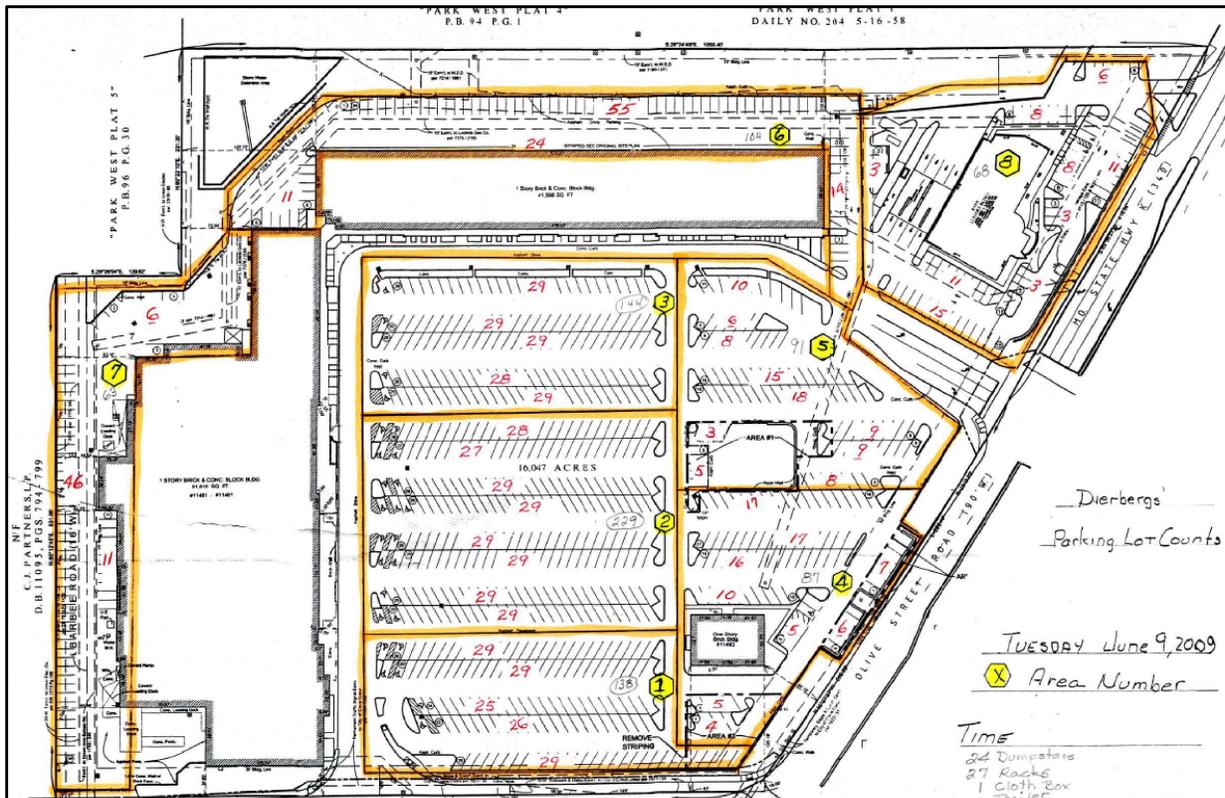


Figure 5: West Oak Square Parking Zones

As can be seen in Table 4, a peak parking demand of 506 spaces for the shopping center occurred on a weekday at 12:30 p.m. in the afternoon. This peak represents approximately 55% of the existing parking supply.



Table 4 West Oak Square Existing Weekday Parking Supply and Demand									
Time	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Zone 6	Zone 7	Zone 8	TOTAL
<i>SUPPLY</i>	138	229	144	87	91	104	63	68	924
10:00 AM	33	90	65	8	14	33	0	20	263
11:00 AM	41	107	75	9	10	41	1	25	309
11:30 AM	46	128	84	16	29	45	1	23	372
12:00 PM	61	137	109	13	63	47	1	25	456
12:30 PM	75	157	115	15	68	49	0	27	506
1:00 PM	59	143	114	12	47	44	0	29	448
1:30 PM	61	122	104	10	25	39	1	25	387
2:00 PM	52	127	79	16	14	37	0	26	351
3:00 PM	46	123	63	11	8	38	1	27	317
4:00 PM	40	111	61	15	10	39	0	25	301
5:00 PM	42	119	63	12	17	35	0	22	310
6:00 PM	35	113	75	13	46	34	0	5	321
7:00 PM	31	82	54	10	48	30	0	5	260
Maximum Weekday Demand	75	157	115	16	68	49	1	29	506
Maximum Weekday Occupancy	54%	69%	80%	18%	75%	47%	2%	43%	55%

Figure 6 displays the percentages of occupied parking spaces throughout the weekday study period for the entire shopping center. As can be seen, the overall peak parking utilization for a weekday occurred at 12:30 p.m., at which time approximately 55% of the spaces (506 of 924 total spaces) were occupied.

The existing peak parking demand for the overall shopping center was only 506 parking spaces. Factoring in a 15% cushion for the site’s parking supply, peak parking demand for West Oak Square would be 563 parking spaces, or 4.03 spaces per 1000 ft² of building space.



Existing Weekday Parking Utilization

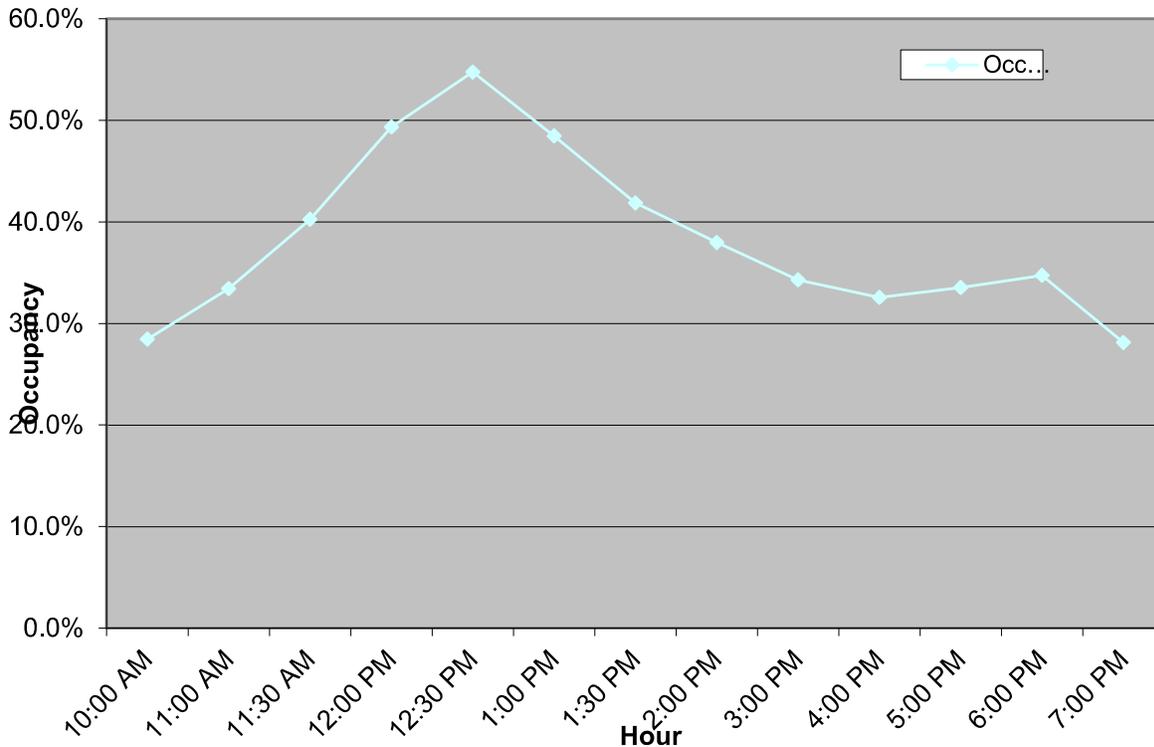


Figure 6: Existing Weekday Parking Utilization West Oak Square (Overall Site)

ESTIMATED PARKING DEMAND BASED ON DATA FROM DIERBERGS BRENTWOOD POINTE

Brentwood Pointe Shopping Center, located in Brentwood, Missouri, consists of approximately 170,065 ft² of mixed retail, office, and restaurant space, anchored by a 70,709 ft² Dierbergs grocery store. The site has one main building, approximately 145,386 ft² in size, containing the Dierbergs grocery store along with several other mixed-use tenants. The site also contains two outlot buildings; a 6,876 ft² restaurant building and a 17,803 ft² retail building. These outlots have a dedicated parking supply that’s sufficient for the building’s demand. However, these lots were included in the parking demand counts and therefore the building square footage was included in the site estimates.

In order to quantify the existing parking demands for the Brentwood Pointe shopping center, parking counts were conducted from 11:00 a.m. to 7:00 p.m. on a Thursday and 10:00 a.m. to 5:00 p.m. on a Saturday, generally the peak parking demand periods for a typical week for this type of development. These counts determined the number of occupied spaces on hourly intervals during the study periods (and half-hour intervals during the midday and evening peak periods). The existing parking supply was divided into “zones” in an effort to isolate the locations where demand is the heaviest. The parking inventory zones are identified in **Figure**



7. The results of the parking surveys are summarized in **Tables 5** and **6** for the weekday and Saturday, respectively.

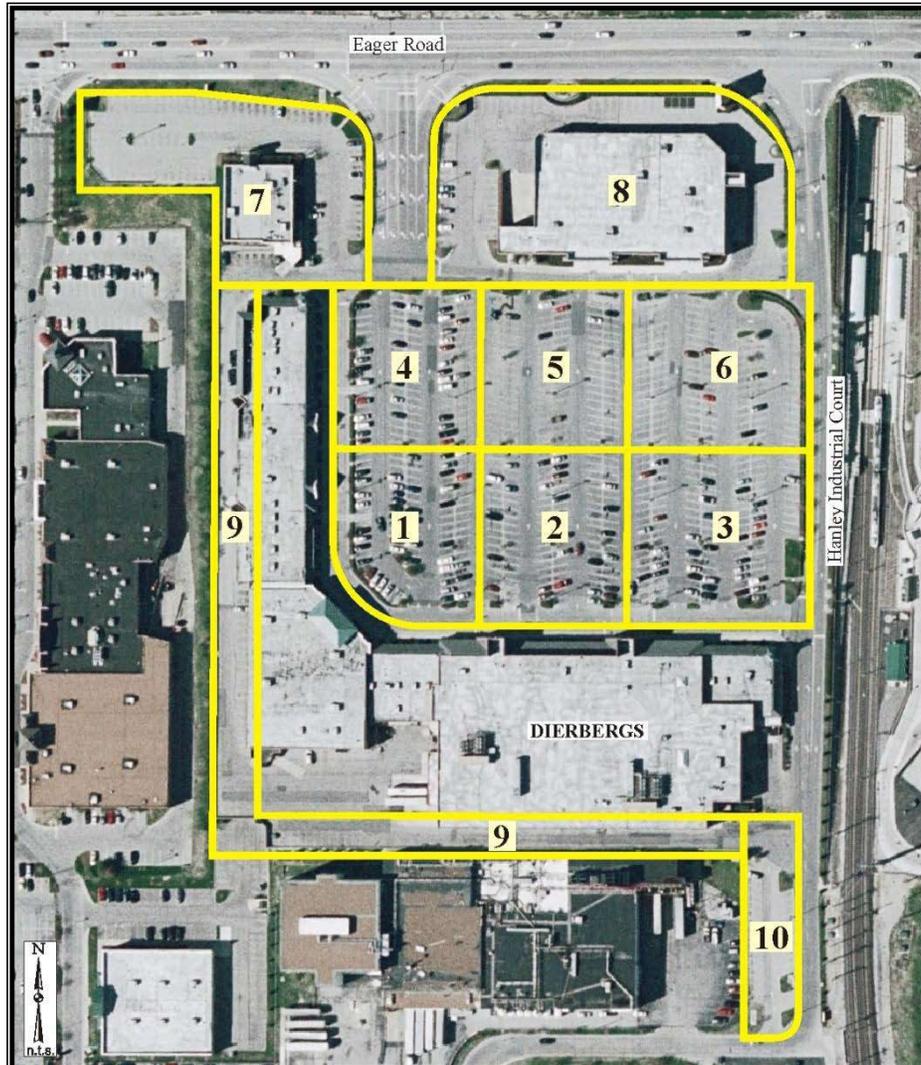


Figure 7: Brentwood Pointe Parking Zones

Table 5 summarizes the number of vehicles that were parked in each zone over the course of the weekday count. As can be seen, the peak demand for the weekday occurred at 1:00 p.m., at which time approximately 39% of the spaces (348 of 887 total spaces) were occupied. The shopping center experienced fairly consistent utilization throughout the weekday study period with the percent utilization ranging from 28% to 39%.

Table 6 summarizes the number of vehicles that were parked in each zone over the course of the Saturday count. As can be seen, the peak demand for the Saturday occurred at 1:30 p.m., at which time approximately 51% of the spaces (450 of 887 total spaces) were occupied. The



parking utilization for the shopping center fluctuated throughout the day, with the peak period generally occurring between 12:30 and 4:00 p.m. with a corresponding percent utilization ranging from 44% to 51%.

Table 5
Brentwood Pointe Shopping Center
Existing Weekday Parking Demand

Time	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	TOTAL	% Occupied
SUPPLY	91	122	130	96	108	116	86	68	41	29	887	
11:00 AM	62	58	46	29	16	18	9	0	8	10	257	29%
11:30 AM	67	61	51	35	17	20	22	0	5	7	285	32%
12:00 PM	68	59	65	46	13	21	42	0	4	7	325	37%
12:30 PM	74	71	58	41	18	23	43	0	4	7	339	38%
1:00 PM	78	70	74	38	15	20	40	0	6	7	348	39%
1:30 PM	67	67	64	39	18	16	29	0	6	6	312	35%
2:00 PM	67	60	55	45	16	15	15	0	6	6	285	32%
3:00 PM	63	58	48	41	13	14	10	0	4	3	254	29%
3:30 PM	73	43	46	41	17	14	8	1	5	3	251	28%
4:00 PM	73	50	49	42	13	13	6	1	5	3	255	29%
4:30 PM	73	51	61	42	14	10	7	2	3	3	266	30%
5:00 PM	65	48	61	45	12	10	12	2	4	3	262	30%
5:30 PM	70	50	52	43	14	8	17	2	3	5	264	30%
6:00 PM	74	52	55	49	8	10	31	2	3	5	289	33%
6:30 PM	69	58	56	37	10	9	38	2	2	3	284	32%
7:00 PM	74	47	50	35	10	8	58	2	1	3	288	32%



Table 6 Brentwood Pointe Shopping Center Existing Saturday Parking Demand												
Time	Zone 1	Zone 2	Zone 3	Zone 4	Zone 5	Zone 6	Zone 7	Zone 8	Zone 9	Zone 10	TOTAL	% Occupied
SUPPLY	91	122	130	96	108	116	86	68	41	29	887	
10:00 AM	78	63	47	33	8	24	7	1	4	2	267	30%
10:30 AM	76	50	51	36	7	20	7	1	5	1	254	29%
11:00 AM	79	79	66	57	11	24	10	1	3	1	331	37%
11:30 AM	80	78	66	57	12	26	23	1	3	1	347	39%
12:00 PM	81	72	69	67	14	25	35	1	4	0	368	41%
12:30 PM	77	87	74	68	13	24	42	1	3	0	389	44%
1:00 PM	81	94	77	77	19	25	50	1	4	1	429	48%
1:30 PM	87	92	75	84	28	25	55	1	2	1	450	51%
2:00 PM	83	90	78	85	21	22	38	1	2	1	421	47%
2:30 PM	81	93	76	83	23	25	26	2	3	1	413	47%
3:00 PM	84	81	66	79	31	23	32	3	2	1	402	45%
3:30 PM	81	83	68	71	24	21	35	3	3	1	390	44%
4:00 PM	90	79	67	73	19	23	36	4	3	1	395	45%
4:30 PM	74	81	67	76	17	18	39	4	3	1	380	43%
5:00 PM	75	72	65	44	17	17	59	4	2	0	355	40%

Figure 8 displays the percentages of occupied parking spaces throughout the weekday study period for the entire shopping center. As can be seen, the overall peak parking utilization for a weekday occurred at 1:00 p.m., at which time approximately 39% of the spaces (348 of 887 total spaces) were occupied. The shopping center experienced fairly consistent utilization throughout the weekday study period.



Existing Weekday Parking Utilization

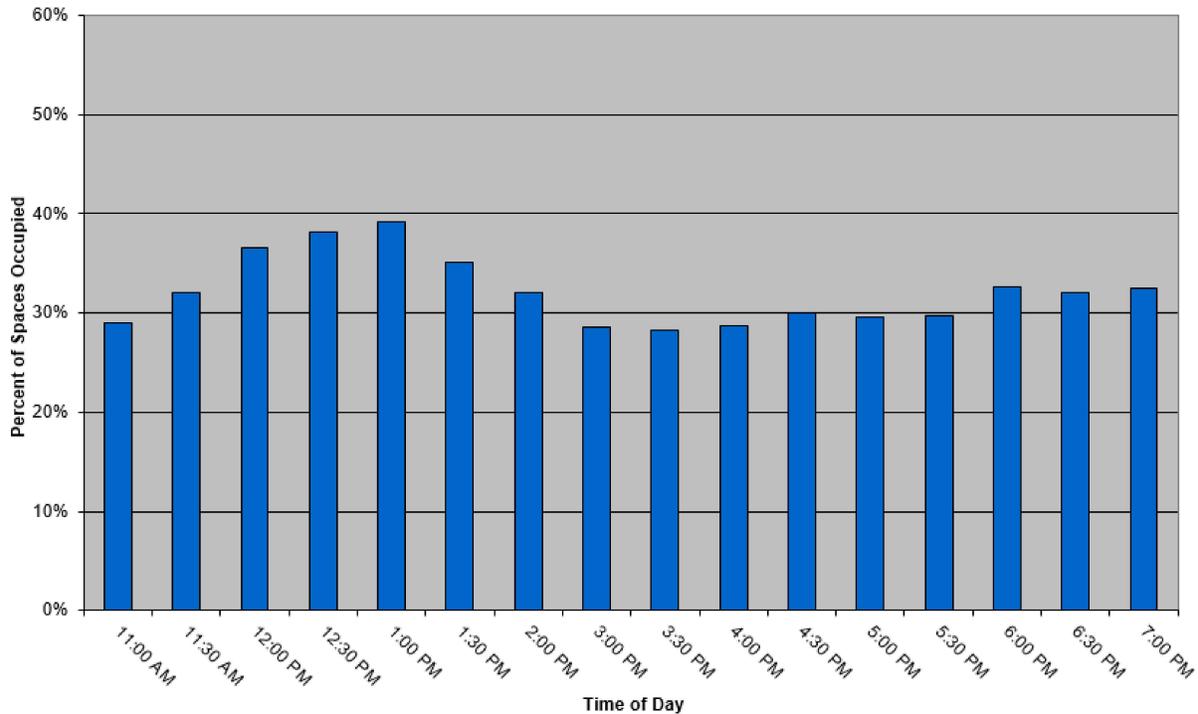


Figure 8: Existing Weekday Parking Utilization Brentwood Pointe (Overall Site)

Figure 9 displays the percentages of occupied parking spaces throughout the Saturday study period for the entire shopping center. As can be seen, the overall peak parking utilization for a Saturday occurred at 1:30 p.m., at which time approximately 51% of the spaces (450 of 887 total spaces) were occupied. The shopping center experienced a fairly consistent utilization from the midday peak period throughout the rest of the day.

The existing peak parking demand for the overall shopping center was only 450 parking spaces. Factoring in a 15% cushion for the site’s parking supply, peak parking demand for the Brentwood Pointe shopping center would be 500 parking spaces, or 3.11 spaces per 1000 ft² of building space.

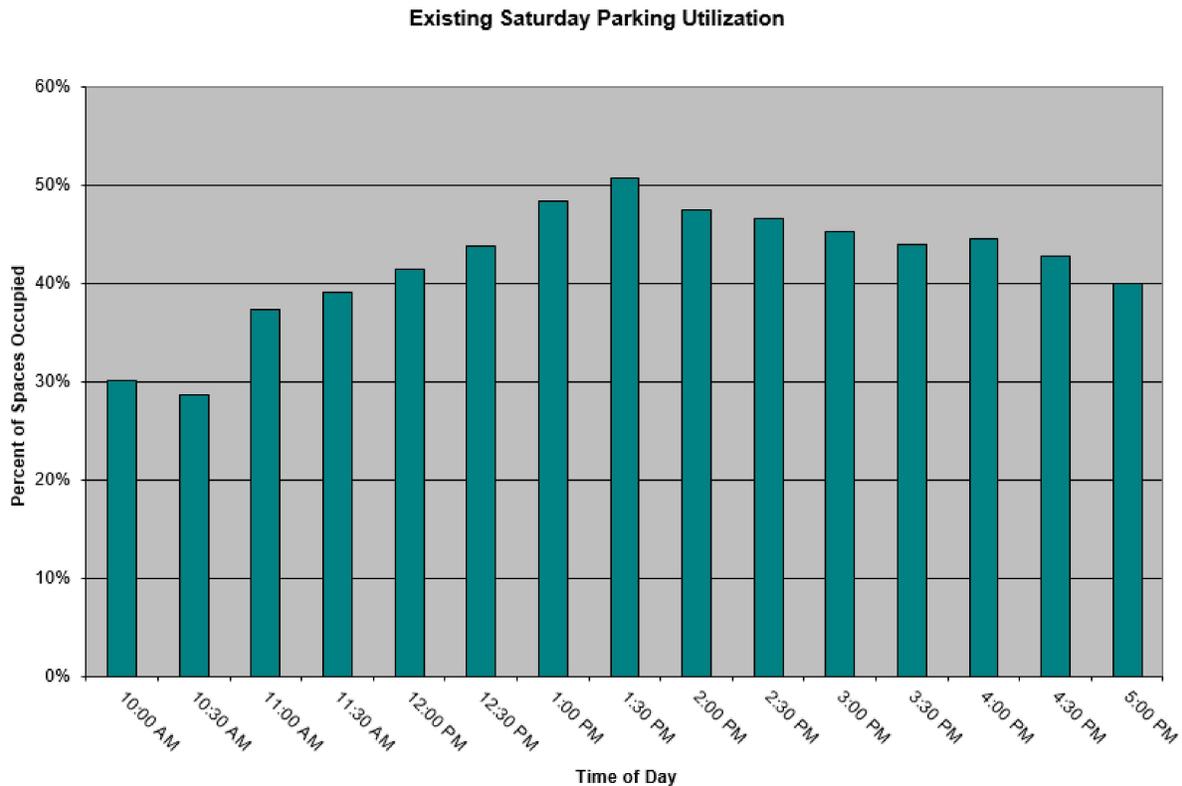


Figure 9: Existing Saturday Parking Utilization Brentwood Pointe (Overall Site)

PROPOSED PARKING REDUCTION

It is our understanding the owner is proposing to provide 485 parking spaces at the new Dierbergs Lake Saint Louis site. Consequently, a parking reduction in the range 5% has been requested for the site.

As discussed earlier in this letter, based on the current land uses within the shopping center, 508 parking spaces are required per the current City code. Thus, a 5% reduction in the required parking spaces would result in a requirement of 483 parking spaces for the Dierbergs Lake Saint Louis shopping center.

Assuming a parking supply of 485 parking spaces, the proposed supply would represent a rate of 4.85 parking spaces/1000 ft² of building space. As can be seen in **Table 7**, this would represent a supply in excess of the maximum demand observed at similar Dierbergs sites around the area. Even with a 5% parking reduction, the shopping center would still be expected to have excess capacity above the optimum efficiency of 80% to 90% utilization.



Table 7 Observed Parking Demand Dierbergs Existing Sites				
Dierbergs Location	Total Site Area (sq. ft.)	Grocery Store Area (sq ft.)	Observed Peak Parking Demand (veh)	Observed Peak Parking Demand + 15% Buffer (veh/1000 sq. ft.)
Brentwood Pointe	170,065	70,709	450	3.11
West Oak Square	147,593	75,236	506	4.03
Clarkson-Clayton Center	132,284	69,790	271	2.41
Proposed Dierbergs Lake Saint Louis	99,918	70,848	--	4.85*

* Proposed Parking Supply per 1000 sq. ft. of building space

Based on these results, it is our professional opinion that a parking reduction of 5% is justified for the Dierbergs Lake Saint Louis shopping center.

SUMMARY

Considering local parking demand data from similar type and size Dierbergs shopping centers, CBB estimates that the proposed Dierbergs Lake Saint Louis development would need a parking supply between 400 and 450 parking spaces to accommodate the various land uses in the development. Thus, the proposed parking supply of 485 parking spaces for the commercial development would be adequate.

We trust that this report adequately addresses the anticipated parking demands associated with the proposed Dierbergs Lake Saint Louis development. Please contact myself or Mr. Jonathan Deves in our St. Louis Office should there be any questions regarding this report.

Sincerely,

Shawn Derai White, P.E., PTOE
Associate - Senior Traffic Engineer

Jonathan Deves, P.E., PTOE
Associate – Senior Traffic Engineer

Executive Summary

Date: July 27, 2020

To: Mr. Jonathan Hill – Dierbergs Markets, Inc.

From: Mr. Jonathan Deves, P.E., PTOE
Ms. Shawn White, P.E., PTOE

CBB Job Number: 78-18-1

Project: Proposed Dierbergs Mixed-Use Development
Shoppes at Hawk Ridge
Lake Saint Louis, Missouri

CBB has generated this Executive Summary in an effort to briefly summarize the results of the proposed Dierbergs mixed-use development proposed in the southwest quadrant of Ronald Reagan Drive and Orf Road within the Shoppes of Hawk Ridge in Lake Saint Louis, Missouri. The following briefly summarizes the findings of the Dierbergs Traffic Impact Study and how it relates to the previously approved Old Highway N Traffic Study:

- Trips and impacts of the build-out of the Shoppes at Hawk Ridge (Dierbergs development area) were included in the 2040 Design Year scenario in the Old Highway N Traffic Study that was completed in 2019
- This traffic impact study for the Dierbergs development has refined the trip generation and trip distribution made in the Old Highway N Traffic Study to accurately reflect the current development proposal versus the previous approximation of land uses.
- When comparing the 2040 conditions of the two studies, the operating conditions in the traffic impact study for the Dierbergs development are similar or slightly better at the signals of Highway N at Sommers Road/Ronald Reagan Drive and Sommers Road at Old Highway N/QT Driveway. The slight improvement compared to the Old Highway N traffic study is a result of the trip generation and distribution refinement.
- The Dierbergs Traffic Impact Study recommendations are:
 - Install a new traffic signal at Ronald Reagan Drive and Orf Road;
 - Provide a southbound right-turn lane on Ronald Reagan Drive at Orf Road;
 - Construct the eastbound and westbound approaches of Orf Road with a left-turn lane and a shared through/right-turn lane at Ronald Reagan Drive;





- Provide protected plus flashing yellow arrow phasing for the left-turn movement on all approaches at the Ronald Reagan Drive and Orf Road traffic signal;
- Provide minor signal timing modifications at Route N and Hawk Ridge Trail and at Route N and Ronald Reagan Drive/Sommers Road;
- Consider providing signal coordination along Ronald Reagan Drive (north-south) between Hawk Ridge Trail and Old Highway N to minimize any potential queues extending between signals.

In the short term (2019 Build conditions), the southbound right-turn on Ronald Reagan Drive at Highway N would occasionally queue beyond the storage bay provided (1-2 times during the PM peak hour). However, queues for the southbound through lane may occasionally block access to the southbound right-turn lane, causing some delay for southbound right turning traffic. Such long queues are only expected during the peak 10-15 minutes of the weekday PM peak hour. These queues are not expected to back into adjacent intersections. Therefore, operating conditions at Ronald Reagan Drive and Pond Fort Trail would not be impacted. The southbound queues are not expected to reach the Pond Fort Trail intersection since approximately 375 feet of storage is available for the southbound approach before blocking the Pond Fort Trail intersection.

As more development occurs in the surrounding area, the southbound right-turn queues are expected to lengthen. As a result, it is recommended to provide a right-turn overlap phase for southbound Ronald Reagan Drive at Route N in the 2040 condition to allow the southbound right-turns to operate more efficiently and with shorter queues as traffic in the area increases.

In the 2040 condition, even though the southbound right-turn overlap at the signal will help, the queues are expected to extend out of the right-turn storage bay provided for approximately half of the PM peak hour. However, these queues are not expected to extend to Pond Fort Trail or impact the operating conditions at Ronald Reagan Drive and Pond Fort Trail. Additionally, motorists could choose to use Pond Fort Trail to access Highway N via Ridgeway Drive if the southbound right-turns queue out of the provided storage bay. Note that the study conservatively assumed all the southbound right-turns would occur at the traffic signal on Route N when in actuality there would be some right-turns that use Pond Fort Trail which would reduce the forecasted southbound right-turn queues.

The queues for the eastbound left-turn from Highway N to Ronald Reagan Drive are expected to routinely extend out of the existing left-turn bay during the weekday PM and Saturday Midday peak periods.

During both the 2020 and 2040 conditions, the queues for the southbound left turn at Ronald Reagan Drive and Highway N and the northbound left turn at Ronald Reagan Drive and Pond Fort Trail are not expected to impact each other. Improvements are planned to extend the



storage bay lengths for both of these movements and queues are not forecasted to extend past the available storage at any time.

GALAXY® GT6x 10 MM PRODUCT SPECIFICATIONS

The Galaxy® GT6x offers high-value Galaxy features combined with high-resolution 10 mm surface mount LED technology to provide high-quality images.

10 MM TECHNICAL SPECIFICATIONS

Character Height:

2.8" (7 pixel font)

Line Spacing:

10.16 mm (0.4")

Pixel Configuration:

3-in-1 SMD

Maximum Brightness:

8,000 nits

Full Color Capability:

281 trillion colors

Viewing Angle:

160 degrees horizontal x 70 degrees vertical

Min Viewing Distance:

21' (10 mm)



PRODUCT FEATURES

- All sealed components
- Quick connects
- Mounting clips
- High-contrast louvers
- Redundant module signal
- Single-section cabinet for fast installation
- Front ventilation
- Single-step module removal
- Shallow 7" cabinet depth
- Narrow cabinet borders

MODEL NUMBER GUIDE

GT6x	-	72	x	108	-	10	-	RGB	-	SF
Series		Lines High		Columns Wide		Line Spacing		LED Color		Single Face or Two View

GT6x SERIES SPECIFICATIONS

Estimated LED Lifetime:

100,000+ hours

Contrast Enhancement:

Non-reflective black louvers and module face grooves disperse light

Message Capability:

Text, graphics, logos, basic animation, video clips, multiple font styles, and sizes

Control Software:

Venus® Control Suite

Power:

120, 120/240 VAC Single Phase

Display Dimming:

64 levels (Automatic, scheduled or manual control)

Communication Options:

Ethernet Fiber Optic, Ethernet Bridge Radio, Remote Cellular, Ethernet CAT5

Operating Temperature:

-40°F to 120°F with 99% RH non-condensing

Compliance Information:

UL Listed, FCC compliance

DISPLAY CONFIGURATIONS



Single-face (SF)
Available in all sizes



Two-view (2V)
Available in all sizes

GALAXY® GT6x 10 MM PRODUCT SPECIFICATIONS

Lines x Columns	Sections/Ventilated	Cabinet Dimensions Feet-Inches H x W x D	Cabinet Dimensions Meters H x W x D	Cabinet Square Feet (Square Meters)	Active Area Square Feet (Square Meters)	Cabinet Weight Pounds (kilograms)	Lines/Characters per line	Character Height	Maximum Watts RGB
72x108	Single/Ft	2'11" x 3'11" x 7"	0.89 x 1.18 x 0.18	11.2 (1.1)	8.7 (0.9)	90 (41)	9/21	2" - 28"	630
72x144	Single/Ft	2'11" x 5'1" x 7"	0.89 x 1.54 x 0.18	14.6 (1.4)	11.6 (1.2)	125 (57)	9/28	2" - 28"	825
72x180	Single/Ft	2'11" x 6'3" x 7"	0.89 x 1.91 x 0.18	18.1 (1.7)	14.4 (1.5)	155 (71)	9/36	2" - 28"	1020
72x216	Single/Ft	2'11" x 7'6" x 7"	0.89 x 2.28 x 0.18	21.6 (2.0)	17.3 (1.8)	185 (84)	9/43	2" - 28"	1215
72x252	Single/Ft	2'11" x 8'8" x 7"	0.89 x 2.64 x 0.18	25.1 (2.3)	20.2 (2.1)	215 (98)	9/50	2" - 28"	1410
72x288	Single/Ft	2'11" x 9'11" x 7"	0.89 x 3.01 x 0.18	28.6 (2.7)	23.1 (2.4)	245 (112)	9/57	2" - 28"	1610
72x324	Single/Ft	2'11" x 11'1" x 7"	0.89 x 3.37 x 0.18	32.0 (3.0)	26.0 (2.6)	275 (125)	9/64	2" - 28"	1805
72x360	Single/Ft	2'11" x 12'3" x 7"	0.89 x 3.74 x 0.18	35.5 (3.3)	28.8 (3.0)	305 (139)	9/72	2" - 28"	2000
72x396	Single/Ft	2'11" x 13'6" x 7"	0.89 x 4.1 x 0.18	39.0 (3.6)	31.7 (3.3)	335 (152)	9/79	2" - 28"	2195
72x432	Single/Ft	2'11" x 14'8" x 7"	0.89 x 4.47 x 0.18	42.5 (4.0)	34.6 (3.5)	365 (166)	9/86	2" - 28"	2390
72x468	Single/Ft	2'11" x 15'11" x 7"	0.89 x 4.84 x 0.18	46.0 (4.3)	37.5 (3.8)	395 (180)	9/93	2" - 28"	2585
72x504	Single/Ft	2'11" x 17'1" x 7"	0.89 x 5.2 x 0.18	49.4 (4.6)	40.4 (4.2)	425 (193)	9/100	2" - 28"	2780
72x540	Single/Ft	2'11" x 18'3" x 7"	0.89 x 5.57 x 0.18	52.9 (5.0)	43.2 (4.4)	455 (207)	9/108	2" - 28"	2975
72x576	Single/Ft	2'11" x 19'6" x 7"	0.89 x 5.93 x 0.18	56.4 (5.3)	46.1 (4.7)	485 (220)	9/115	2" - 28"	3170
72x612	Single/Ft	2'11" x 20'8" x 7"	0.89 x 6.3 x 0.18	59.9 (5.6)	49.0 (5.0)	515 (234)	9/122	2" - 28"	3365
72x648	Single/Ft	2'11" x 21'11" x 7"	0.89 x 6.66 x 0.18	63.4 (5.9)	51.9 (5.3)	545 (248)	9/129	2" - 28"	3560
72x684	Single/Ft	2'11" x 23'1" x 7"	0.89 x 7.03 x 0.18	66.8 (6.3)	54.8 (5.6)	575 (261)	9/136	2" - 28"	3755
72x720	Single/Ft	2'11" x 24'3" x 7"	0.89 x 7.4 x 0.18	70.3 (6.6)	57.6 (5.9)	605 (275)	9/144	2" - 28"	3950
108x108	Single/Ft	4'2" x 3'11" x 7"	1.25 x 1.18 x 0.18	15.8 (1.5)	13.0 (1.2)	140 (64)	13/21	2" - 43"	970
108x144	Single/Ft	4'2" x 5'1" x 7"	1.25 x 1.54 x 0.18	20.7 (1.9)	17.3 (1.7)	185 (84)	13/28	2" - 43"	1275
108x180	Single/Ft	4'2" x 6'3" x 7"	1.25 x 1.91 x 0.18	25.6 (2.4)	21.6 (2.1)	230 (105)	13/36	2" - 43"	1585
108x216	Single/Ft	4'2" x 7'6" x 7"	1.25 x 2.28 x 0.18	30.5 (2.9)	26.0 (2.4)	275 (125)	13/43	2" - 43"	1895
108x252	Single/Ft	4'2" x 8'8" x 7"	1.25 x 2.64 x 0.18	35.5 (3.3)	30.3 (2.9)	320 (146)	13/50	2" - 43"	2200
108x288	Single/Ft	4'2" x 9'11" x 7"	1.25 x 3.01 x 0.18	40.4 (3.8)	34.6 (3.3)	365 (166)	13/57	2" - 43"	2510
108x324	Single/Ft	4'2" x 11'1" x 7"	1.25 x 3.37 x 0.18	45.3 (4.2)	38.9 (3.6)	410 (186)	13/64	2" - 43"	2815
108x360	Single/Ft	4'2" x 12'3" x 7"	1.25 x 3.74 x 0.18	50.2 (4.7)	43.2 (4.1)	455 (207)	13/72	2" - 43"	3125
108x396	Single/Ft	4'2" x 13'6" x 7"	1.25 x 4.1 x 0.18	55.1 (5.1)	47.6 (4.5)	500 (227)	13/79	2" - 43"	3430
108x432	Single/Ft	4'2" x 14'8" x 7"	1.25 x 4.47 x 0.18	60.1 (5.6)	51.9 (4.8)	545 (248)	13/86	2" - 43"	3740
108x468	Single/Ft	4'2" x 15'11" x 7"	1.25 x 4.84 x 0.18	65.0 (6.1)	56.2 (5.3)	590 (268)	13/93	2" - 43"	4050
108x504	Single/Ft	4'2" x 17'1" x 7"	1.25 x 5.2 x 0.18	69.9 (6.5)	60.5 (5.7)	635 (289)	13/100	2" - 43"	4355
108x540	Single/Ft	4'2" x 18'3" x 7"	1.25 x 5.57 x 0.18	74.8 (7.0)	64.8 (6.1)	680 (309)	13/108	2" - 43"	4665
108x576	Single/Ft	4'2" x 19'6" x 7"	1.25 x 5.93 x 0.18	79.7 (7.4)	69.2 (6.5)	725 (329)	13/115	2" - 43"	4970
108x612	Single/Ft	4'2" x 20'8" x 7"	1.25 x 6.3 x 0.18	84.7 (7.9)	73.5 (6.9)	770 (350)	13/122	2" - 43"	5280
108x648	Single/Ft	4'2" x 21'11" x 7"	1.25 x 6.66 x 0.18	89.6 (8.3)	77.8 (7.3)	815 (370)	13/129	2" - 43"	5585
108x684	Single/Ft	4'2" x 23'1" x 7"	1.25 x 7.03 x 0.18	94.5 (8.8)	82.1 (7.7)	860 (391)	13/136	2" - 43"	5895
108x720	Single/Ft	4'2" x 24'3" x 7"	1.25 x 7.4 x 0.18	99.4 (9.3)	86.4 (8.1)	905 (411)	13/144	2" - 43"	6200
144x108	Single/Ft	5'4" x 3'11" x 7"	1.62 x 1.18 x 0.18	20.4 (1.9)	17.3 (1.7)	185 (84)	18/21	2" - 57"	1215
144x144	Single/Ft	5'4" x 5'1" x 7"	1.62 x 1.54 x 0.18	26.8 (2.5)	23.1 (2.3)	245 (112)	18/28	2" - 57"	1610
144x180	Single/Ft	5'4" x 6'3" x 7"	1.62 x 1.91 x 0.18	33.1 (3.1)	28.8 (2.9)	305 (139)	18/36	2" - 57"	2000
144x216	Single/Ft	5'4" x 7'6" x 7"	1.62 x 2.28 x 0.18	39.5 (3.7)	34.6 (3.3)	365 (166)	18/43	2" - 57"	2390
144x252	Single/Ft	5'4" x 8'8" x 7"	1.62 x 2.64 x 0.18	45.8 (4.3)	40.4 (3.9)	425 (193)	18/50	2" - 57"	2780
144x288	Single/Ft	5'4" x 9'11" x 7"	1.62 x 3.01 x 0.18	52.2 (4.9)	46.1 (4.5)	485 (220)	18/57	2" - 57"	3170
144x324	Single/Ft	5'4" x 11'1" x 7"	1.62 x 3.37 x 0.18	58.6 (5.5)	51.9 (5.0)	545 (248)	18/64	2" - 57"	3560
144x360	Single/Ft	5'4" x 12'3" x 7"	1.62 x 3.74 x 0.18	64.9 (6.1)	57.6 (5.6)	605 (275)	18/72	2" - 57"	3950
144x396	Single/Ft	5'4" x 13'6" x 7"	1.62 x 4.1 x 0.18	71.3 (6.6)	63.4 (6.2)	665 (302)	18/79	2" - 57"	4340
144x432	Single/Ft	5'4" x 14'8" x 7"	1.62 x 4.47 x 0.18	77.6 (7.2)	69.2 (6.6)	725 (329)	18/86	2" - 57"	4730
144x468	Single/Ft	5'4" x 15'11" x 7"	1.62 x 4.84 x 0.18	84.0 (7.8)	74.9 (7.2)	785 (357)	18/93	2" - 57"	5120
144x504	Single/Ft	5'4" x 17'1" x 7"	1.62 x 5.2 x 0.18	90.4 (8.4)	80.7 (7.8)	845 (384)	18/100	2" - 57"	5510
144x540	Single/Ft	5'4" x 18'3" x 7"	1.62 x 5.57 x 0.18	96.7 (9.0)	86.4 (8.3)	905 (411)	18/108	2" - 57"	5900
144x576	Single/Ft	5'4" x 19'6" x 7"	1.62 x 5.93 x 0.18	103.1 (9.6)	92.2 (8.9)	965 (438)	18/115	2" - 57"	6295
144x612	Single/Ft	5'4" x 20'8" x 7"	1.62 x 6.3 x 0.18	109.4 (10.2)	98.0 (9.5)	1030 (468)	18/122	2" - 57"	6685
144x648	Single/Ft	5'4" x 21'11" x 7"	1.62 x 6.66 x 0.18	115.8 (10.8)	103.7 (9.9)	1090 (495)	18/129	2" - 57"	7075
144x684	Single/Ft	5'4" x 23'1" x 7"	1.62 x 7.03 x 0.18	122.2 (11.4)	109.5 (10.5)	1150 (522)	18/136	2" - 57"	7465
144x720	Single/Ft	5'4" x 24'3" x 7"	1.62 x 7.4 x 0.18	128.5 (12.0)	115.2 (11.1)	1210 (549)	18/144	2" - 57"	7855

GALAXY® GT6x 10 MM PRODUCT SPECIFICATIONS

Lines x Columns	Sections/Ventilated	Cabinet Dimensions Feet-Inches H x W x D	Cabinet Dimensions Meters H x W x D	Cabinet Square Feet (Square Meters)	Active Area Square Feet (Square Meters)	Cabinet Weight Pounds (kilograms)	Lines/Characters per line	Character Height	Maximum Watts RGB
180x108	Single/Ft	6'6" x 3'11" x 7"	1.99 x 1.18 x 0.18	25.0 (2.3)	21.6 (2.1)	230 (105)	22/21	2" - 71"	1465
180x144	Single/Ft	6'6" x 5'1" x 7"	1.99 x 1.54 x 0.18	32.8 (3.1)	28.8 (2.9)	305 (139)	22/28	2" - 71"	1940
180x180	Single/Ft	6'6" x 6'3" x 7"	1.99 x 1.91 x 0.18	40.6 (3.8)	36.0 (3.6)	380 (173)	22/36	2" - 71"	2410
180x216	Single/Ft	6'6" x 7'6" x 7"	1.99 x 2.28 x 0.18	48.4 (4.5)	43.2 (4.2)	455 (207)	22/43	2" - 71"	2885
180x252	Single/Ft	6'6" x 8'8" x 7"	1.99 x 2.64 x 0.18	56.2 (5.3)	50.4 (4.9)	530 (241)	22/50	2" - 71"	3355
180x288	Single/Ft	6'6" x 9'11" x 7"	1.99 x 3.01 x 0.18	64.0 (6.0)	57.6 (5.7)	605 (275)	22/57	2" - 71"	3830
180x324	Single/Ft	6'6" x 11'1" x 7"	1.99 x 3.37 x 0.18	71.8 (6.7)	64.8 (6.3)	680 (309)	22/64	2" - 71"	4305
180x360	Single/Ft	6'6" x 12'3" x 7"	1.99 x 3.74 x 0.18	79.6 (7.4)	72.0 (7.0)	755 (343)	22/72	2" - 71"	4775
180x396	Single/Ft	6'6" x 13'6" x 7"	1.99 x 4.1 x 0.18	87.4 (8.2)	79.2 (7.8)	830 (377)	22/79	2" - 71"	5250
180x432	Single/Ft	6'6" x 14'8" x 7"	1.99 x 4.47 x 0.18	95.2 (8.9)	86.4 (8.4)	905 (411)	22/86	2" - 71"	5720
180x468	Single/Ft	6'6" x 15'11" x 7"	1.99 x 4.84 x 0.18	103.0 (9.6)	93.6 (9.1)	980 (445)	22/93	2" - 71"	6195
180x504	Single/Ft	6'6" x 17'1" x 7"	1.99 x 5.2 x 0.18	110.8 (10.3)	100.8 (9.9)	1060 (481)	22/100	2" - 71"	6670
180x540	Single/Ft	6'6" x 18'3" x 7"	1.99 x 5.57 x 0.18	118.6 (11.1)	108.0 (10.5)	1135 (515)	22/108	2" - 71"	7140
180x576	Single/Ft	6'6" x 19'6" x 7"	1.99 x 5.93 x 0.18	126.4 (11.8)	115.2 (11.2)	1210 (549)	22/115	2" - 71"	7615
180x612	Single/Ft	6'6" x 20'8" x 7"	1.99 x 6.3 x 0.18	134.2 (12.5)	122.4 (12.0)	1285 (583)	22/122	2" - 71"	8090
180x648	Single/Ft	6'6" x 21'11" x 7"	1.99 x 6.66 x 0.18	142.0 (13.3)	129.6 (12.5)	1360 (617)	22/129	2" - 71"	8560
180x684	Single/Ft	6'6" x 23'1" x 7"	1.99 x 7.03 x 0.18	149.8 (14.0)	136.8 (13.3)	1435 (651)	22/136	2" - 71"	9035
180x720	Single/Ft	6'6" x 24'3" x 7"	1.99 x 7.4 x 0.18	157.6 (14.7)	144.0 (14.1)	1510 (685)	22/144	2" - 71"	9505
216x108	Single/Ft	7'9" x 3'11" x 7"	2.35 x 1.18 x 0.18	29.6 (2.8)	26.0 (2.4)	275 (125)	27/21	2" - 86"	1715
216x144	Single/Ft	7'9" x 5'1" x 7"	2.35 x 1.54 x 0.18	38.9 (3.6)	34.6 (3.3)	365 (166)	27/28	2" - 86"	2270
216x180	Single/Ft	7'9" x 6'3" x 7"	2.35 x 1.91 x 0.18	48.1 (4.5)	43.2 (4.2)	455 (207)	27/36	2" - 86"	2825
216x216	Single/Ft	7'9" x 7'6" x 7"	2.35 x 2.28 x 0.18	57.4 (5.4)	51.9 (4.8)	545 (248)	27/43	2" - 86"	3380
216x252	Single/Ft	7'9" x 8'8" x 7"	2.35 x 2.64 x 0.18	66.6 (6.2)	60.5 (5.7)	635 (289)	27/50	2" - 86"	3935
216x288	Single/Ft	7'9" x 9'11" x 7"	2.35 x 3.01 x 0.18	75.8 (7.1)	69.2 (6.6)	725 (329)	27/57	2" - 86"	4490
216x324	Single/Ft	7'9" x 11'1" x 7"	2.35 x 3.37 x 0.18	85.1 (7.9)	77.8 (7.3)	815 (370)	27/64	2" - 86"	5045
216x360	Single/Ft	7'9" x 12'3" x 7"	2.35 x 3.74 x 0.18	94.3 (8.8)	86.4 (8.1)	905 (411)	27/72	2" - 86"	5600
216x396	Single/Ft	7'9" x 13'6" x 7"	2.35 x 4.1 x 0.18	103.6 (9.6)	95.1 (9.0)	995 (452)	27/79	2" - 86"	6160
216x432	Single/Ft	7'9" x 14'8" x 7"	2.35 x 4.47 x 0.18	112.8 (10.5)	103.7 (9.7)	1090 (495)	27/86	2" - 86"	6715
216x468	Single/Ft	7'9" x 15'11" x 7"	2.35 x 4.84 x 0.18	122.0 (11.4)	112.4 (10.6)	1180 (536)	27/93	2" - 86"	7270
216x504	Single/Ft	7'9" x 17'1" x 7"	2.35 x 5.2 x 0.18	131.3 (12.2)	121.0 (11.4)	1270 (577)	27/100	2" - 86"	7825
216x540	Single/Ft	7'9" x 18'3" x 7"	2.35 x 5.57 x 0.18	140.5 (13.1)	129.6 (12.1)	1360 (617)	27/108	2" - 86"	8380
216x576	Single/Ft	7'9" x 19'6" x 7"	2.35 x 5.93 x 0.18	149.8 (13.9)	138.3 (13.0)	1450 (658)	27/115	2" - 86"	8935
216x612	Single/Ft	7'9" x 20'8" x 7"	2.35 x 6.3 x 0.18	159.0 (14.8)	146.9 (13.9)	1540 (699)	27/122	2" - 86"	9490
216x648	Single/Ft	7'9" x 21'11" x 7"	2.35 x 6.66 x 0.18	168.2 (15.7)	155.6 (14.5)	1630 (740)	27/129	2" - 86"	10050
216x684	Single/Ft	7'9" x 23'1" x 7"	2.35 x 7.03 x 0.18	177.5 (16.5)	164.2 (15.4)	1720 (781)	27/136	2" - 86"	10605
216x720	Single/Ft	7'9" x 24'3" x 7"	2.35 x 7.4 x 0.18	186.7 (17.4)	172.8 (16.3)	1810 (822)	27/144	2" - 86"	11160



PLANNING AND ZONING APPLICATION

APPLICATION SUBMITTAL REQUIREMENTS

The following shall be submitted at least 35 days before the scheduled meeting date of the Planning and Zoning Commission. The meetings are held the first Thursday of each month. Submittals lacking any one of the submittal requirements will be considered incomplete and will not be accepted.

Submittal Requirements	Format	Details
Application	PDF ^[1]	Completed applications are required 35 days in advance of the meeting date. The meetings are held the 1st Thursday of each month.
Plans	PDF ^[1]	
Certified list of adjacent property owners ^[3]	PDF ^[1]	List may be obtained from the St. Charles County Assessor's Office and shall include a list of property owner names and addresses within 300 feet (residential applications) or 1,000 feet (nonresidential applications) of the subject property.
Mailing Labels ^[3]	Hard Copy	The mailing labels should include all property owners on the certified list. List shall be placed on letter-size mailing labels and submitted with original certified list.
Application Fee ^[3]	Check or Online ^[2]	Refer to fee schedule on page 3.
Mailing Fee ^[3]	Check or Online ^[2]	The fee is \$5 plus \$0.62 per letter.
Advertising Fee ^[3]	Check or Online ^[2]	The fee is \$400. Once the advertisements have been placed, the applicant will be notified regarding any balance due or refund owed. There will be no refund of overpayments that are less than \$3.00.

Notes

[1] Email PDFs to bcueller@lakesaintlouis.com.

[2] Pay online at with [Official Payments](#). Email confirmation to bcueller@lakesaintlouis.com.

[3] Not required for conceptual review.



PLANNING AND ZONING APPLICATION

Updated January 27, 2020

Application is hereby made to the Planning and Zoning Commission of the City of Lake Saint Louis to approve the following request as described below.

Applicant

Name	<i>LSL Land Company, LLC</i>
Address	<i>2205 Kimberly Road Bettendorf, IA 52722</i>
Email	<i>dbarnard@phoenixmidwest.com</i>
Phone Number	<i>636-489-3949</i>
Interest in Property	<i>Contract Purchaser</i>

Property Owner

Name	<i>Balam Properties LLC</i>
Address	<i>727 North First Street, Suite 400 St. Louis, MO 63102</i>
Email	<i>Jan Sandweiss (JanS@JeromeGlick.com)</i>
Phone Number	<i>314-726-0000</i>
Name, address, and title of all officers, partners, or control persons who have any interest in the application	<i>Jan Sandweiss Jerome Glick Properties 727 N. 1st Street, Ste 400 St. Louis, MO 63102</i>

Property Information

Property Address or General Location	<i>Northwest corner of Freymuth Lane and Hawk Ridge Circle</i>
Legal Description	<i>Lot 8 of Hawk Ridge Business Park and Golf Course</i>
Size	<i>8.37 acres</i>
Zoning	<i>BP Business Park</i>
Deed Restrictions. Attach a copy if applicable.	<i>None</i>



PLANNING AND ZONING APPLICATION

Updated January 27, 2020

Requested Action

<i>Application Type</i>	<i>Fee</i>	
Subdivisions		
Preliminary Subdivision Plat - Resubdivision	\$200	
Preliminary Subdivision Plat - Residential	\$250.00 + \$25.00 per lot	
Preliminary Subdivision Plat - Nonresidential	\$75.00 per sheet + \$10.00 per acre	
Final Subdivision Plat	\$250.00 + \$25.00/lot	
Development Plans		
Preliminary Development Plan - Residential	\$250.00 + \$25.00 per lot	
Preliminary Development Plan - Nonresidential	\$75.00 per sheet + \$10.00 per acre	
Other		
Site Plan Review	\$100	✓
Special Use Permit	\$100	
Zoning Amendment	\$200	
Conceptual Review	No Fee	

Description of Proposed Project

Adult retirement community consisting of 120 units.

I, Daniel J. Barnard, hereby certify that the information given above is true and accurate and that I have reviewed the applicable land development regulations.

Daniel J. Barnard

7/1/20

Name of Owner/Agent

Signature of Owner/Agent

Date



PLANNING AND ZONING APPLICATION

Updated January 27, 2020

REAL ESTATE OWNER AFFIDAVIT

I, Daniel J. Barnard, am the owner or authorized agent of the owner of the parcel, which is the subject matter of the above application, and swears upon my oath that:

- 1. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to the parcel, which is the subject matter of this application.
2. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels in the City of Lake Saint Louis, owned by the same owner of the parcel of land which is the subject matter of this application.
3. All taxes, fees and assessments, due and assessed by the City of Lake Saint Louis, have been paid with regard to all parcels of land owned by the control entities of the owner of the parcels which are the subject matter of this application.
4. All taxes and fees due and assessed by the City of Lake Saint Louis have been paid with regard to all parcels in the City of Lake Saint Louis owned by affiliates of the owner of the parcels which are the subject matter of this application, including those entities which are controlled by owner.

Daniel J. Barnard

Daniel J. Barnard (handwritten signature)

7/1/2020

Name of Owner/Agent

Signature of Owner/Agent

Date



PLANNING AND ZONING APPLICATION

Updated January 27, 2020

Owner

STATE OF MISSOURI)
COUNTY OF ST. CHARLES)

On this ___ day of ___, 20___, before me, a notary public in and for the State of Missouri, personally appeared ___, known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this ___ day of ___, 20___, in the County of St. Charles, State of Missouri.

Notary Public

My Commission Expires: _____

Authorized Agent

STATE OF MISSOURI)
COUNTY OF ST. CHARLES)

On this 1st day of July, 2020, before me, a notary public in and for the State of Missouri, personally appeared DANIEL J. BARNARD, who stated that he/she is the Authorized Representative of LSL LAND COMPANY, LLC, Position Corporation, Partnership, Association, etc.

and that he/she has been authorized to make this application, and is further known to me to be the person who executed the within Real Estate Owner Affidavit and acknowledged to me that he/she executed the same for the purpose stated therein and as his/her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my seal this 1st day of July, 2020, in the County of St. Charles, State of Missouri.



JANE PAGANO
My Commission Expires
September 26, 2021
St. Charles County
Commission #17121994

Jane Pagano
Notary Public

My Commission Expires: 9/26/2021



PLANNING & ZONING COMMISSION

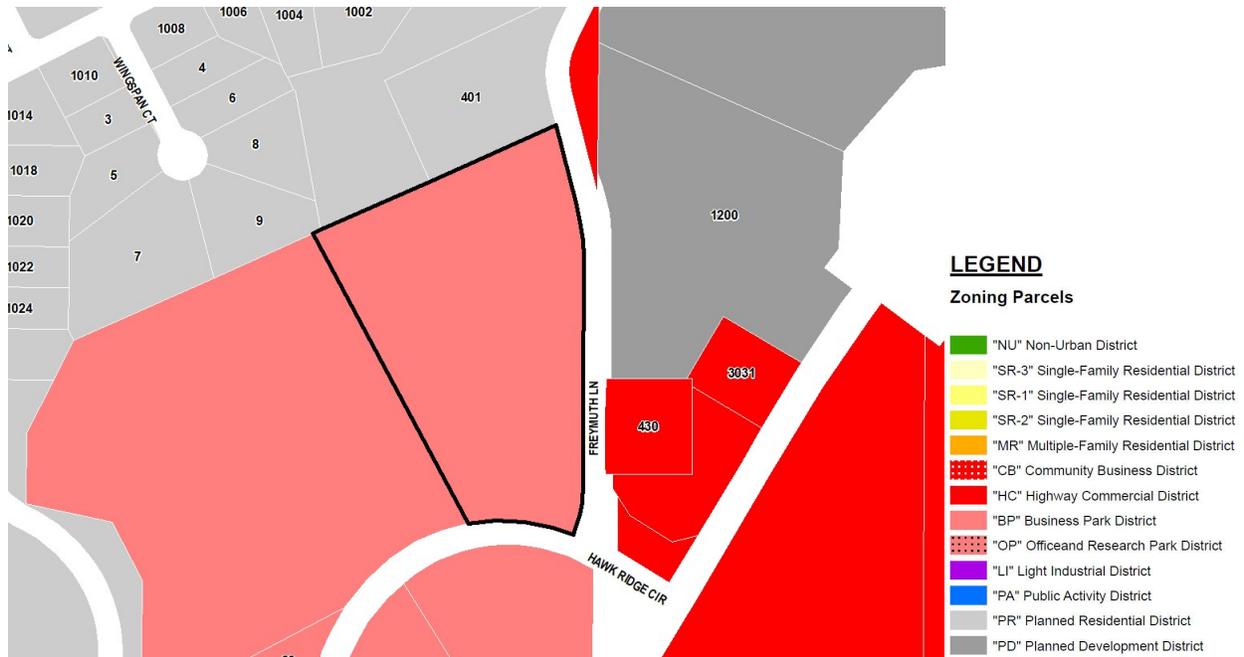
STAFF REPORT

MEETING DATE	August 6, 2020
PROJECT LOCATION	<p>Northwest corner of Freymuth Lane and Hawk Ridge Circle (Lot 8 of Hawk Ridge Business Park and Golf Course)</p> 
PROPERTY OWNER	Balam Properties LLC
APPLICANT	LSL Land Company, LLC
LOT SIZE	8.37 acres
ZONING	"BP" Business Park
APPLICATION TYPE	Site Plan Review
PROPOSAL	Construction of an adult retirement community consisting of 120 dwelling units in five buildings and related site improvements.
STAFF	Louis Clayton, AICP, Director of Community Development

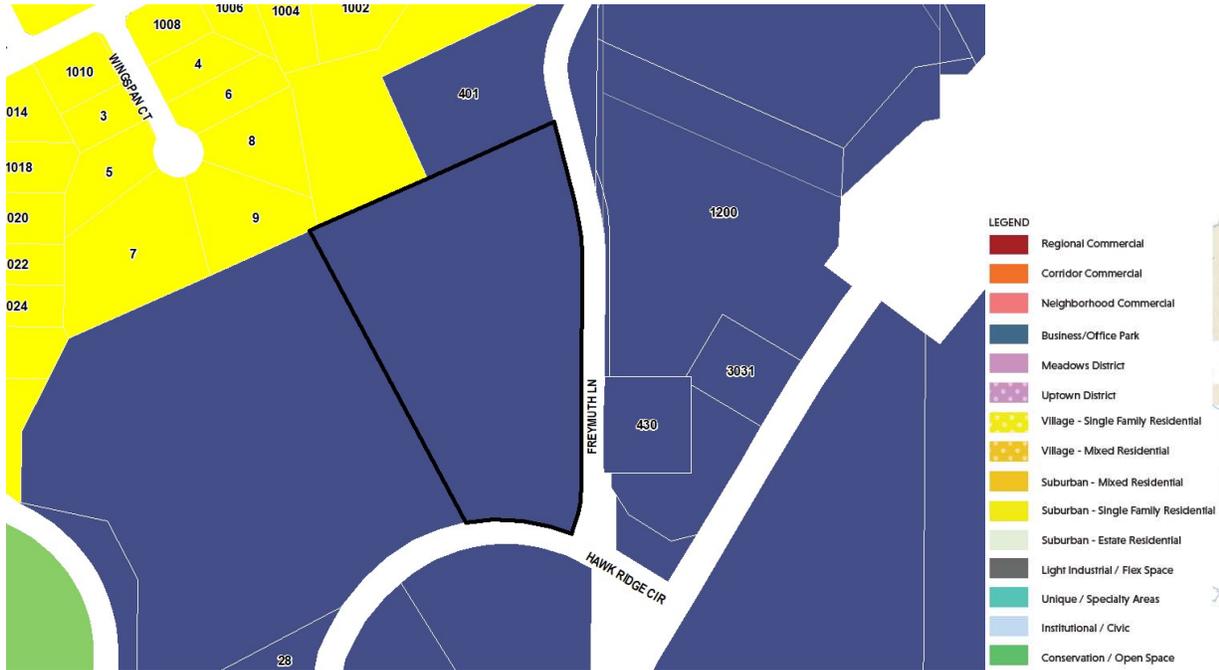
BACKGROUND

The subject property measures 8.37 acres and is located northwest corner of Freymuth Lane and Hawk Ridge Circle (Lot 8 of Hawk Ridge Business Park and Golf Course). The property was annexed into the city in 1990 (Ordinance 689) along with 351 acres which includes Hawk Ridge Business Park and The Heritage of Hawk Ridge Subdivision. The Hawk Ridge Business Park and Golf Course was platted in 1995. The property is currently vacant and has a zoning designation of "BP" Business Park. Adjacent land uses and zoning designations are summarized in the following chart and map:

Direction	Land Use	Name	Zoning
North	Single-Family	Estates of Hawk Ridge	"PR" Planned Residential
Northeast	Commercial (under development)	Hawk Ridge Crossing	"PD" Planned Development
Southeast	Vacant		"HC" Highway Commercial
South	Vacant	Hawk Ridge Business Park	"BP" Business Park
West	Vacant	Hawk Ridge Business Park	"BP" Business Park



The Comprehensive Plan's Future Land Use Map designates the subject property as "Business/Office Park". Excerpts from the Comprehensive Plan are included below.



Business / Office Park

Business / Office Park are locations that are major employment centers with architecturally distinctive office buildings grouped to create a campus-like layout. Business / Office Park locations are primarily located along Lake Saint Louis Boulevard near the I-64 interchange with the goal of creating a synergy of an office campus to complement existing development such as NISC and MTM. Extensive open space and landscaping are a key feature of Business / Office Park locations. Pedestrian and bicycle connections are to be provided for internal circulation and to provide connections to citywide networks.



Design Expectations

- Public, multi-use trail connections shall connect to adjacent sites. Trail connections shall utilize common areas or buffer areas.
- Buildings grouped to create a campus-like layout that promotes common areas such as plazas and formal open space.
- Design of buildings should be architecturally distinctive and contribute to the architectural value of the City. High quality materials such brick, stone, and glass shall be utilized. Quality of design should be visible from a distance and also up close at a pedestrian scale.
- Buildings should be set in a natural setting with extensive landscaping. Large expanse of parking should be avoided.
- Extensive buffering between adjacent uses.

Details

Building Placement	<ul style="list-style-type: none"> Grouped for campus-like layout that promotes pedestrian and bicycle connections.
Building Height	<ul style="list-style-type: none"> 65' max. Taller structures may be allowed near I-64 and areas not impacting residential.
Density	<ul style="list-style-type: none"> 2.0 FAR. Higher densities allowed if public amenities are provided.
Parking	<ul style="list-style-type: none"> Off-street. Shared parking is encouraged.
Landscape	<ul style="list-style-type: none"> Extensive landscaping, including street trees along internal drives and adjacent streets.
Other	<ul style="list-style-type: none"> 40% of the site retained for open space. Public, multi-use trail connections shall connect to adjacent sites.

PROJECT DESCRIPTION

The applicant proposes the construction of an adult retirement community (60 or older) consisting of 120 dwelling units in five buildings. Each building is three stories tall, measures 10,652 square feet, and contains six one-bedroom units and 18 two-bedroom units. A one-story, 2,040-square-foot community center is also proposed. The proposed use is a permitted use in the “BP” Business Park Zoning District and requires approval of Site Plan Review.

Dimensional Standards

The proposed development complies with the dimensional standards of the “BP” Business Park Zoning District, including height, setback and lot coverage requirements.

	Required (Section 410.680)	Proposed
Height	70 feet (maximum)	+/- 40 feet (3 stories)
Front Yard Setback	50 feet (minimum)	51 feet (Freymuth Lane), +/-80 feet (Hawk Ridge Circle)
Side Yard Setback	15 feet (minimum)	+/- 53.81 feet
Rear Yard Setback	30 feet (minimum)	+/- 151.1 feet
Site Coverage	60% (maximum)	38%

Access & Circulation

The site will have full access from both Hawk Ridge Circle and Freymuth Lane. A sidewalk is proposed along the property’s frontage on Hawk Ridge Trail.

Parking

For age-restricted housing (over 60 years of age), the parking requirements are one parking space per four dwelling units plus one guest space per 10 dwelling units. Based on the number of proposed units, 42 parking spaces are required, and 144 parking spaces are proposed.

Section 430.170 of the Municipal Code states that if an applicant requests more than 150% of the minimum number of required spaces, they must present to the Planning and Zoning Commission a parking-traffic study prepared by a traffic engineer demonstrating, by clear and convincing evidence, that the expected vehicle use and parking space demand for the development will require more than 150% of the minimum number of required spaces.

The applicant has submitted a parking study conducted by GBA. Considering local parking demand data from other local senior-living apartment developments of a similar nature and nationally-accepted parking generation data available from the Institute of Traffic Engineers (ITE), GBA states that in their opinion, the proposed parking supply of 144 parking spaces is appropriate.

Based on the proposed use and gross-floor area of the building, two loading spaces are required and are shown on the plans.

Stormwater Management

Stormwater runoff from the site will be piped to a new retention area located at the southwest corner of the lot. The Public Works Department finds the stormwater plan acceptable.

Landscaping

The proposed landscaping complies with and/or exceeds the minimum planting requirements for street trees, parking lot trees and building foundation landscaping found in Section 245.030 of the Municipal Code.

The "Condition A" landscape buffer (two canopy trees, two evergreen trees, three understory trees and 20 shrubs per 100 linear feet) is required along the western and northern property lines. Where the existing trees and vegetation do not satisfy the minimum depth or density requirements of the required buffer, additional plantings will be required and shall be shown on a revised landscape plan.

The City's contracted arborist has reviewed the landscape plan and is of the opinion that the landscape design and plant selection is acceptable.

Park Land

Pursuant to [Section 425.460.F.2](#) of the Municipal Code, where a subdivision or development is too small to include an adequate park site, or when the available land is inappropriate for recreational uses, or when the City determines that the recreational needs of the residents of a proposed development would be better served through the development of land outside of a proposed project boundary, the City shall require the subdivider/developer to pay a cash contribution in lieu of the land dedication requirement. This contribution is calculated \$700 per multi-family dwelling unit. For this project, the required contribution in lieu of parkland dedication is \$84,000 (\$700 x 120 units).

Lighting

Nine single-headed pole lights are proposed along the entrance drive and parking lot. The LED fixtures will be mounted at 23 feet. The photometric plan shows that along the property lines light levels are between 0.0 foot-candles. Building lighting is subject to approval by the Development Review Board.

Building Design

The Development Review Board will review the building's proposed design and materials to ensure compatibility with adjacent buildings and compliance with applicable requirements of the Municipal Code, including Section 410.690.3, *Building Siting and Design*.

CONCLUSION

Staff is of the opinion that the proposed development complies with the applicable requirements of the Municipal Code and that the proposed development is compatible with adjacent land uses. The Comprehensive Plan does not contemplate the "Business/Office Park" land use to include residential uses; however, adult retirement communities are permitted in the "BP" Business Park Zoning District. Staff is of the opinion that the proposed development meets the spirit of the design expectations and details of the "Business/Office Park" land use in the Comprehensive Plan.

STAFF RECOMMENDATION

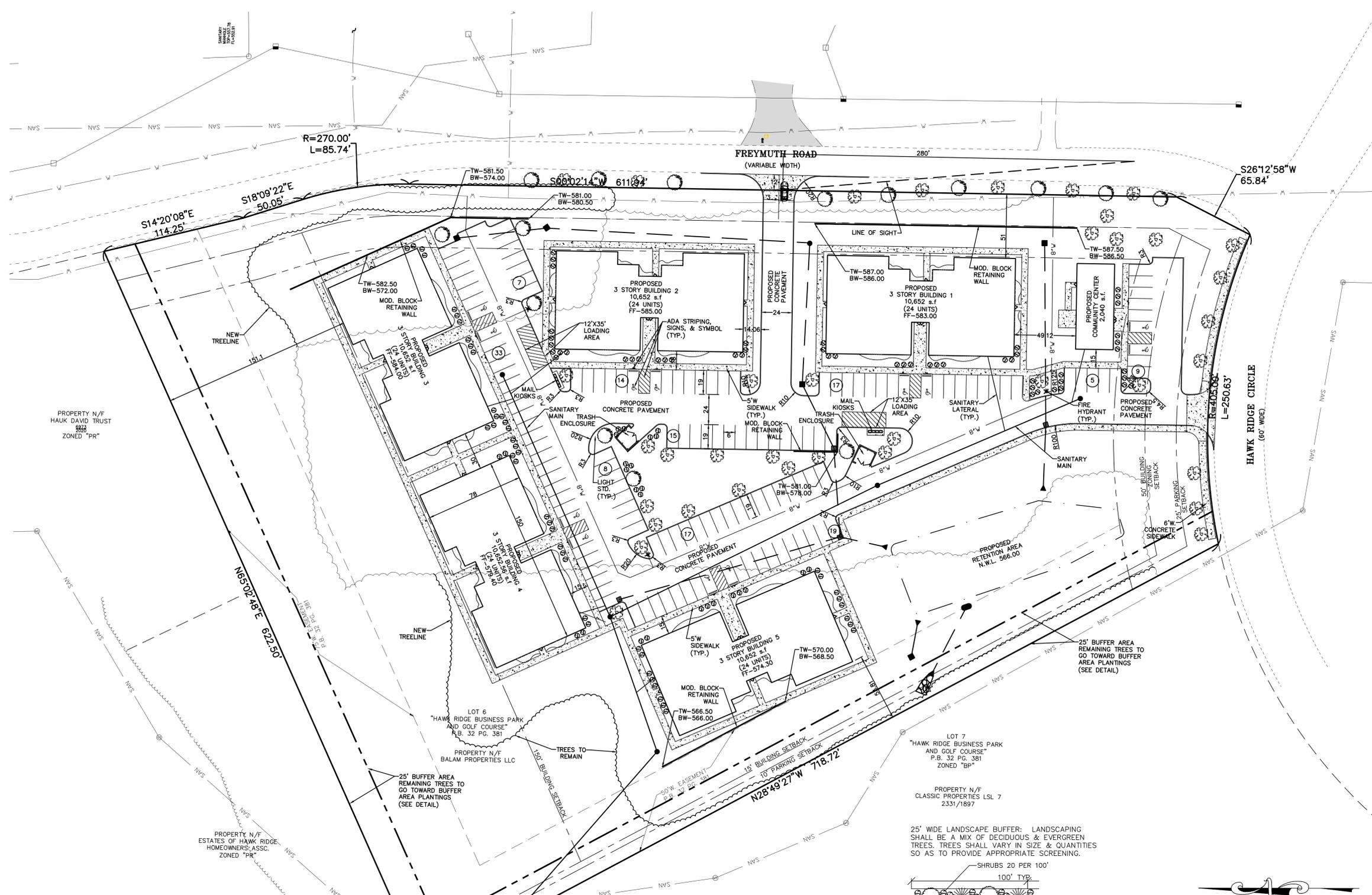
To ***recommend approval*** of the proposed Site Plan to the Board of Aldermen with the following conditions:

1. Where the existing trees and vegetation located along the western and northern property lines do not satisfy the minimum depth or density requirements of the required “Condition A” buffer, additional plantings will be required and shall be shown on a revised landscape plan.
2. The applicant shall pay a cash contribution in lieu of parkland dedication in the amount of \$84,000 in accordance with [Section 425.460.F.2](#) of the Municipal Code, prior to issuance of a building permit.

MOTION

The following motion can be read verbatim or modified as desired:

“I move to recommend approval of the Site Plan to the Board of Aldermen with the conditions listed in the staff report”.



A SITE PLAN FOR
HAWK RIDGE SENIOR LIVING
 HAWKS RIDGE CIRCLE
 LAKE ST. LOUIS, ST. CHARLES COUNTY MO

**ENGINEERING
 PLANNING
 SURVEYING**

221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

B&E Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS

07-22-20	CITY COMMENTS
07-30-20	CITY COMMENTS

DISCLAIMER OF RESPONSIBILITY
 I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

Clifford L. Heilmann
 Civil Engineer
 E29817

07-15-20
 DATE
 20-18075
 PROJECT NUMBER
 18075PRE.DWG
 FILE NAME
 BWF
 DRAWN
 JCM CLH
 DESIGNED CHECKED

SITE PLAN

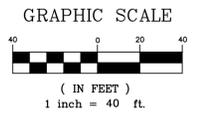
LANDSCAPE LEGEND

Common Name

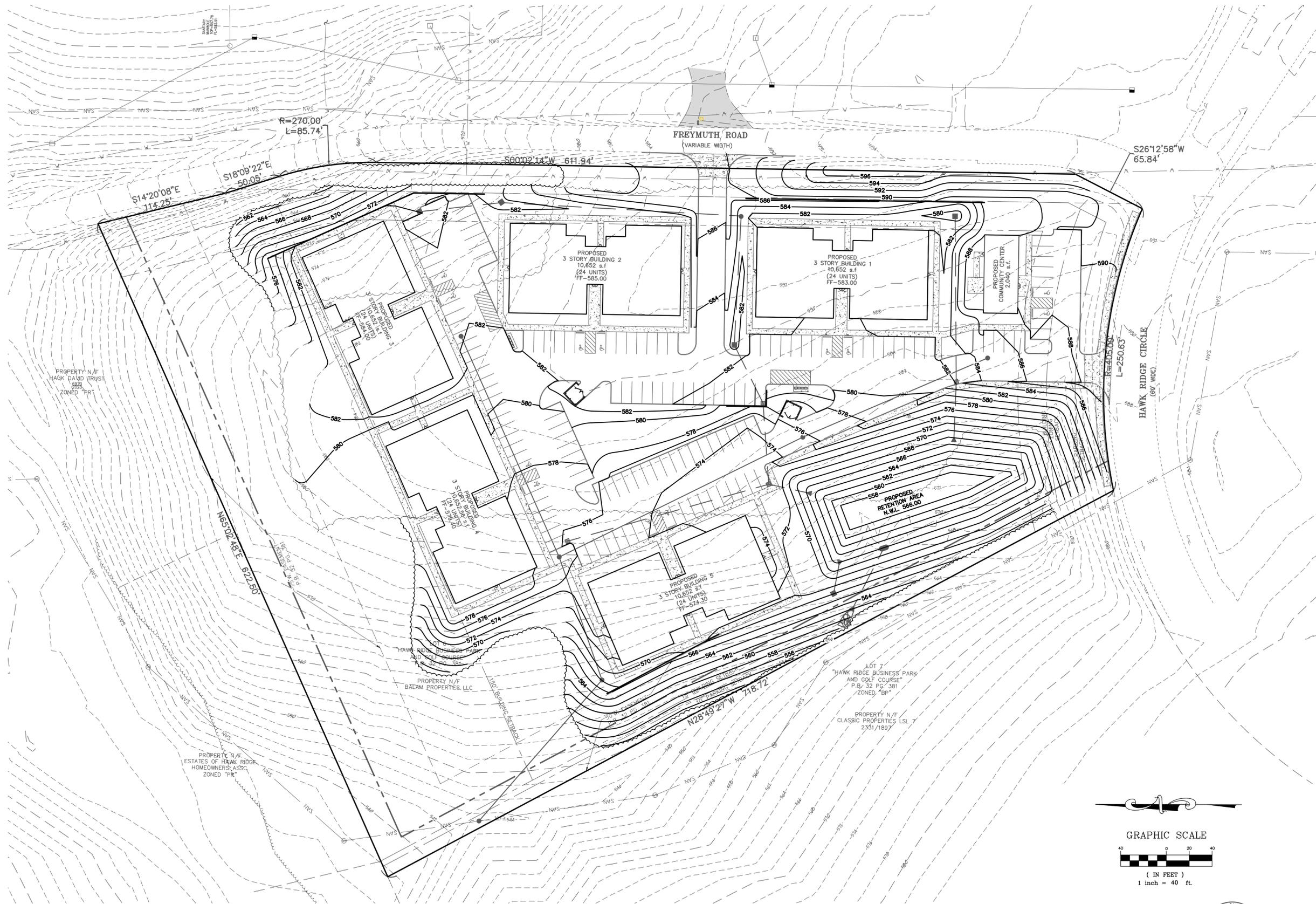
- QTY. (16) ~ INDICATES RED MAPLE (MATURE HEIGHT = 15-20 FT TALL) (MIN. 2" CALIPER)
- QTY. (38) ~ INDICATES CRABAPPLE, THORNLESS HONEYLOCUST AND YELLOWWOOD (MATURE HEIGHT = 15-20 FT TALL) (MIN. 2" CALIPER)
- QTY. (124) ~ INDICATES BOXWOOD Buxus "Green Mountain" (MATURE HEIGHT = 3-5 FT TALL)
- QTY. (124) ~ BOXWOOD OR SIMILAR FOR FOUNDATION SHRUBS Buxus "Green Mountain" (MATURE HEIGHT = 3-5 FT TALL)

LANDSCAPE LEGEND FOR BUFFER

- EVERGREEN TREE(6' MIN. HT.) WHITE PINES/AUSTRAINS
- CANOPY TREE(2 1/2" MIN. CAL) PIN OAKS, SWEET GUM
- UNDERSTORY TREES (1 1/2" MIN CAL) MAGNOLIA, DOGWOOD, RED BUD
- SHRUBS (1 1/2" MIN CAL) BAYBERRY, GOLDEN CURRANT OR WILD HYDRANGEA



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A SITE PLAN FOR
HAWK RIDGE SENIOR LIVING
 HAWKS RIDGE CIRCLE
 LAKE ST. LOUIS, ST. CHARLES COUNTY MO

B&E
 ENGINEERING
 PLANNING
 SURVEYING
 221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS

07-22-20	CITY COMMENTS
07-30-20	CITY COMMENTS

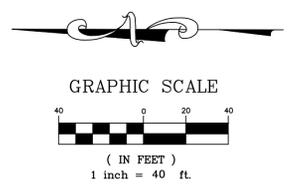
DISCLAIMER OF RESPONSIBILITY
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Clifford L. Heilmann
 Civil Engineer
 E29817

07-15-20
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GRADING PLAN

3 OF 3



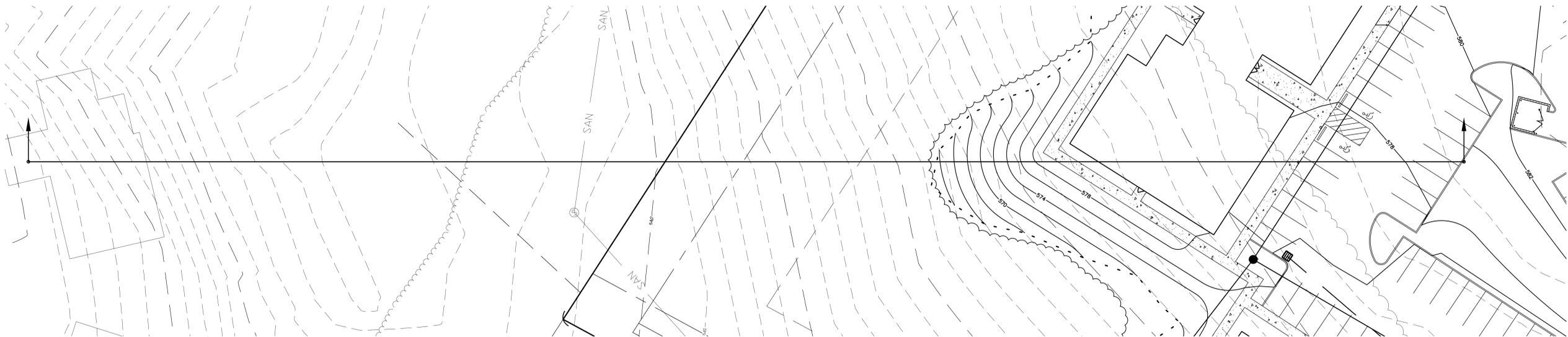
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A CROSS SECTION PLAN FOR HAWK RIDGE SENIOR LIVING



GRAPHIC SCALE



SCALE:
HORIZONTAL - 1"=10'
VERTICAL - 1"=10'

A CROSS SECTION PLAN FOR
HAWK RIDGE SENIOR LIVING
 HAWKS RIDGE CIRCLE
 LAKE ST. LOUIS, ST. CHARLES COUNTY MO

PREPARED FOR:
 LIZAS WOODRUFF ROAD
 BELLEVILLE, MO 63422
 GLEN FORD, MISSOURI



**ENGINEERING
PLANNING
SURVEYING**

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NO.	DATE	DESCRIPTION

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 or parts of the architectural or
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 other than those authenticated by
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Engineers Name
 Civil Engineer
 Engineers License #

00-00-00
DATE

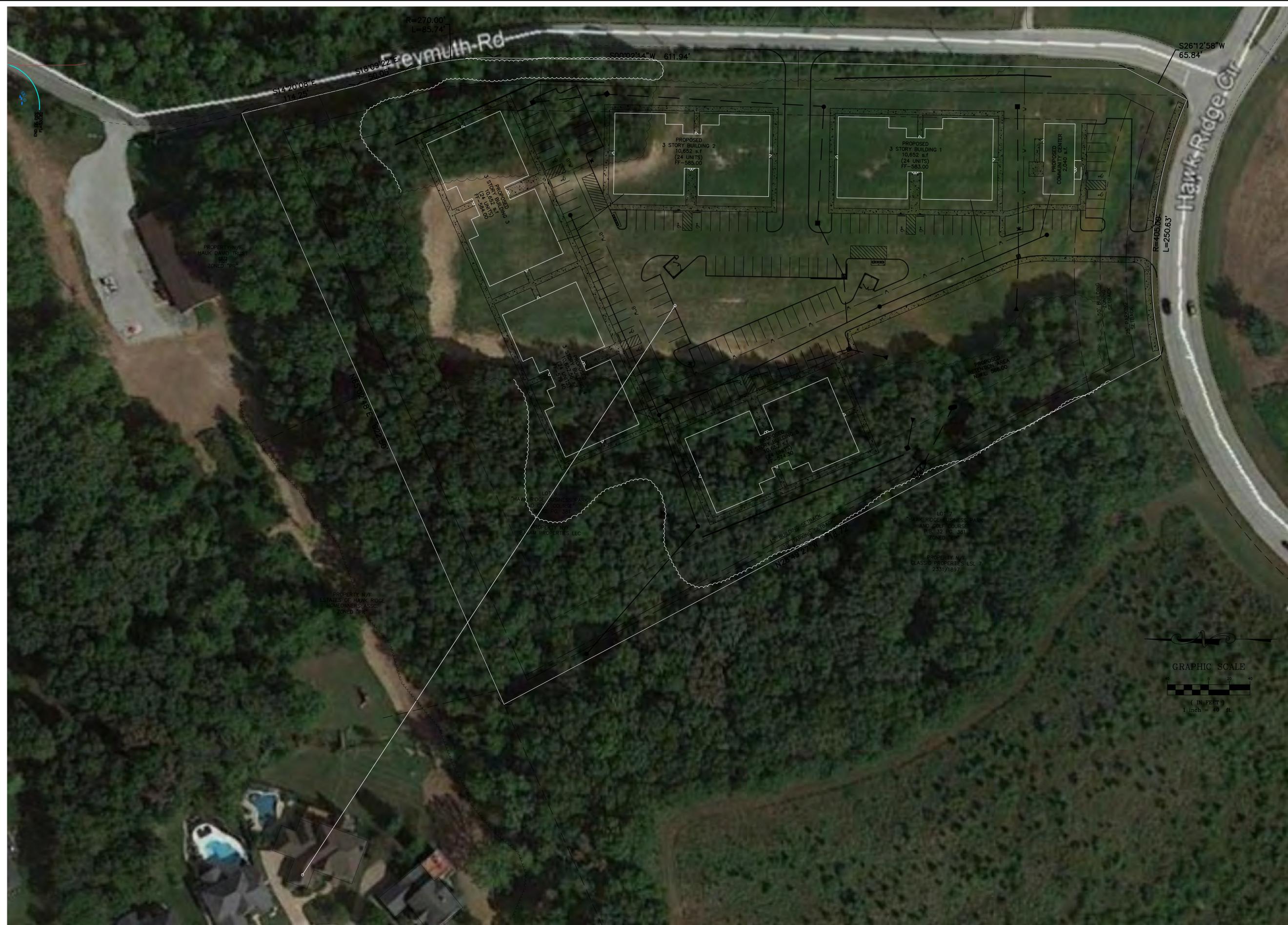
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A SITE PLAN FOR
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 HAWKS RIDGE CIRCLE
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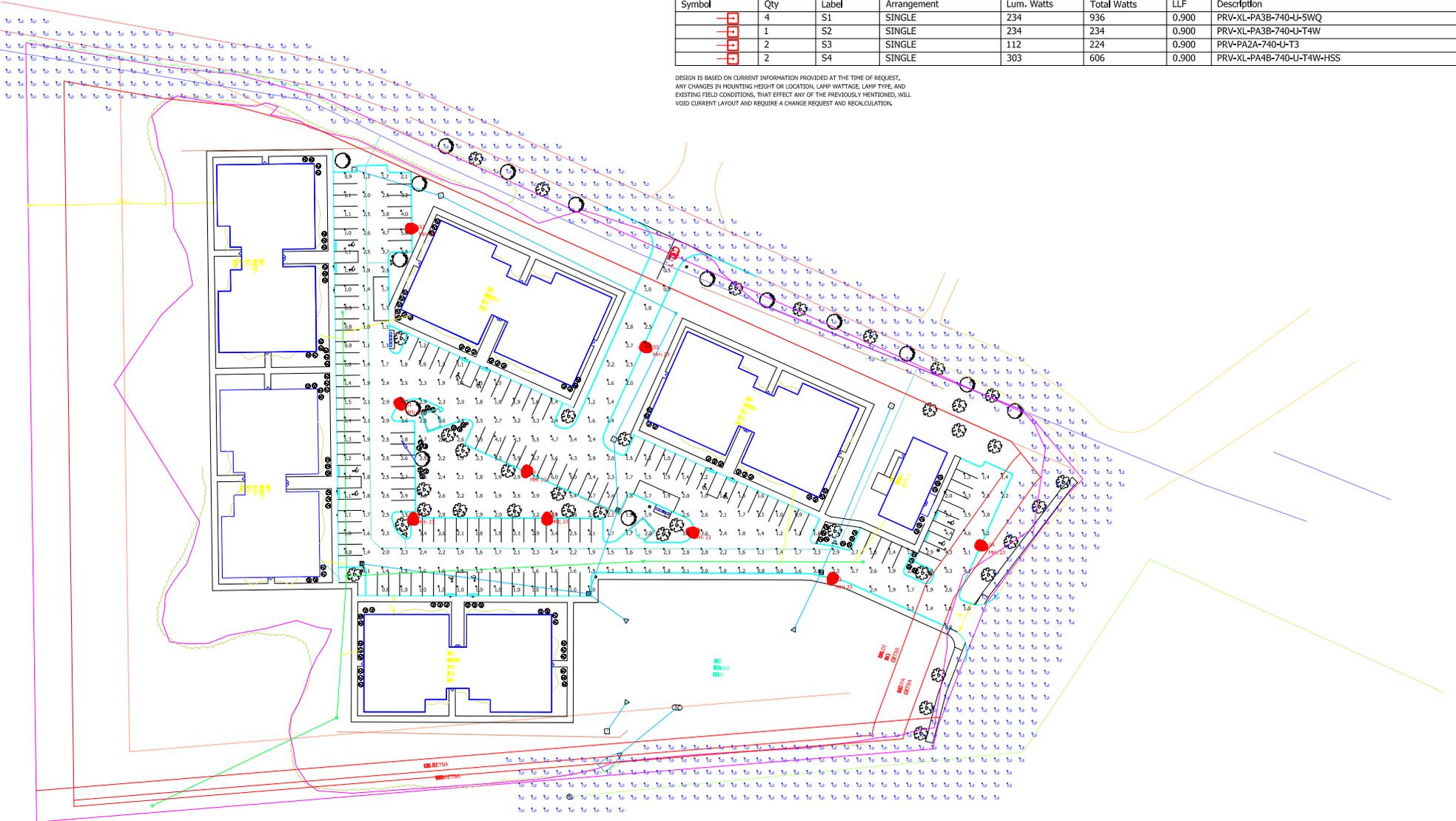
**SITE
 AERIAL**

FIXTURES MOUNTED ON 20' POLE & 3' BASE
 LIGHT LEVEL CALCULATED ON THE GROUND

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SITE	illuminance	Fc	2.20	7.3	0.5	4.40
SPILL LIGHT	illuminance	Fc	0.02	0.5	0.0	N.A.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Watts	Total Watts	LLF	Description
	4	S1	SINGLE	234	936	0.900	PRV-XL-PA3B-740-U-5WQ
	1	S2	SINGLE	234	234	0.900	PRV-XL-PA3B-740-U-T4W
	2	S3	SINGLE	112	224	0.900	PRV-PA2A-740-U-T3
	2	S4	SINGLE	303	606	0.900	PRV-XL-PA4B-740-U-T4W-HSS

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST.
 ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND
 EXISTING FIELD CONDITIONS, THAT EFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL
 VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.





2

APARTMENT BUILDING ELEVATION



1

APARTMENT BUILDING ELEVATION

DEVELOPER 7/20/20
HAWK RIDGE SENIOR
LIVING, LP
2451 EXECUTIVE DRIVE, SUITE 203
ST CHARLES, MO 63303

HAWK RIDGE SENIOR LIVING
48 HAWK RIDGE CIRCLE
LAKE ST. LOUIS, MISSOURI 63367
PRELIMINARY STUDIES
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2 APARTMENT BUILDING ELEVATIONS



1 APARTMENT BUILDING ELEVATIONS

DEVELOPER 7/20/20

HAWK RIDGE SENIOR LIVING, LP

2451 EXECUTIVE DRIVE, SUITE 203
ST CHARLES, MO 63303

HAWK RIDGE SENIOR LIVING
48 HAWK RIDGE CIRCLE
LAKE ST. LOUIS, MISSOURI 63367



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2 CLUBHOUSE BUILDING ELEVATION



1 CLUBHOUSE BUILDING ELEVATION

DEVELOPER 7/20/20
HAWK RIDGE SENIOR
LIVING, LP
2451 EXECUTIVE DRIVE, SUITE 203
ST CHARLES, MO 63303

HAWK RIDGE SENIOR LIVING
48 HAWK RIDGE CIRCLE
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2 CLUBHOUSE BUILDING ELEVATION



1 CLUBHOUSE BUILDING ELEVATION

DEVELOPER 7/20/20

HAWK RIDGE SENIOR LIVING, LP

2451 EXECUTIVE DRIVE, SUITE 203
ST CHARLES, MO 63303

HAWK RIDGE SENIOR LIVING

48 HAWK RIDGE CIRCLE
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Development Plan

*Hawk Ridge Senior Living
Lake St Louis, MO*

July 20, 2020

Applicant

LSL Land Development Company (LSL LDC) is the applicant. LSL LDC is a partner with Phoenix Real Estate Services LLC, a developer of Senior Housing Communities throughout the Metro St. Louis Area. They are proposing a senior living community to be located at the corner of Hawk Ridge Circle and Fryemuth Lane in Lake St Louis. The proposed location is currently farm ground.

Developer Contact Information:

Phoenix Real Estate Services LLC
Dan Barnard - President
2451 Executive Drive, Suite 203
St Charles, Mo 63303

The Hawk Ridge Senior Living Community will be located on a 8.37 Acre parcel. The complex will consist of five (5) residential senior living buildings and clubhouse. The residential buildings will have an elevator and a mix of 1-bedroom and 2-bedroom apartments and have a gross square footage of approximately 10,000 square feet per floor. Each residential building will be three (3) stories. Please refer to the attached plan and renderings for more information.

Property Overview

Location – See above and the attached proposed site plan.

Site Characteristics – The overall size of the site is 8.37 Acres. The proposed site will be developed on an existing undeveloped lot. The existing site is sloped from southeast to northwest corners of the site approximately 50 feet and heavily treed toward the north and northwest edges of the property.

The site will contain five (5) multi-family residential buildings which will have an elevator and a mix of 1-bedroom (six per building) and 2-bedroom (18 per building) units within each building. A clubhouse will also be constructed along the southern property line at the development entrance. See attached floor plans and building elevations located at the end of this narrative.

The proposed project will be built in two phases. Phase 1 (two apartment buildings and the clubhouse) would begin in the summer of 2021 and be completed a year later. Phase 2 (three apartment buildings) are currently planned to begin in the summer or fall of 2022 and be completed a year later.

Age Restricted Senior Living

This will be an independent living facility for seniors aged 60 and over, similar to the developer's other projects located in Wentzville, St Charles, St Peters, and Eureka. The typical demographic are 75-85% single women and widows aged 65-75 and couples (married or otherwise) of the same age range. In home care is not an amenity required by the residents. The typical household owns only one automobile.

Residential Buildings

Each individual floor of the 3-story residential buildings will be made up of the following unit mix;

1 Bedroom Units – 2

2 Bedroom Units – 6

24 total units per building

Architectural Requirements

The proposed building will be made up of a mix of brick / masonry and cement fiberboard siding with architectural asphalt shingle roofs. The proposed residential apartment buildings will have a building height of approximately 42 feet. See attached building elevations/renderings located at the end of this narrative.

Residential Buildings

66% brick / masonry – appx.
34% cement fiberboard – appx.
(Inset porch and deck walls to
be covered with cement fiberboard-all floors)

Clubhouse

60% brick / masonry – appx.
40% cement fiberboard – appx.

Density

The proposed density for the development is 14.3 units per acre

Greenspace Requirements

The site will be designed to minimize the amount of hardscape and have 62% of the site in green space. The site will retain 45% of the existing tree masses which is well above the minimum 30% required by code.

Exterior Lighting / Screening / Buffers

Exterior lighting will be a mix of street lighting within the parking lot and building lighting on each individual building. The proposed lighting will be aesthetically pleasing and will adhere to the ordinance of zero spillover at the property line. The light poles will be no greater than 20-foot poles mounted on a 3-foot light pole base.

The eastern property line of the development will utilize a landscape berm and landscaping to reduce any noise and light pollution for the adjacent landowner. The residential building has been located as far north as to not obstruct the view of this landowner. The remainder of the property is currently screened by existing trees to the north and west. Where existing trees can not be saved along the property lines, a landscape buffer will be constructed.

.Zoning / Setbacks

Setbacks for the proposed development are being proposed as follows;

- Front Yard Setback – 50'
- Side Yard Setback – 15'
- Rear Yard Setback – 30'

Signage

The proposed development will have a monument sign. The proposed signage will be in conformance with the applicable City of Lake St Louis ordinance. It will be placed a minimum of 15 feet from the property line and will not exceed 8 feet in height and will not exceed 40 square feet in area.

Public / Private Utilities

The proposed infrastructure improvements for the project will consist of public water system and sanitary sewer, storm sewer system and private utilities to serve the proposed buildings.

The sanitary sewer will connect to the existing sanitary sewer located at the northwest property corner. The entire site can be served via gravity sewer and a lift station will not be required for the site.

An 8" PVC water main will be looped throughout the site. The public water main is available at the east property line of the proposed development along Freymuth Road.

Public utilities area accessible along the frontage of Freymuth Road and Hawk Ridge Circle. There is an existing gas main underground that can serve the proposed site, although the development will be "all electric". Telephone, electric and cable are available along the frontage of Freymuth Road and Hawk Ridge Circle.

On-Site Parking

The site plan was designed to hide the cars from the general public by placing the buildings around the parking lot.

The parking lot and drive aisles will be constructed in accordance with the City of Lake St Louis land development code. The parking lot drive aisles will 24 feet wide and the parking spaces will be 9 feet by 19 feet. Handicap spaces have been provided throughout the development and are in conformance with ADA requirements. A total of 144 parking spaces have been provided which includes 12 handicap spaces.

Although this number is below the required number for market rate apartments, the developer, from past experience with properties of this nature has found a parking ratio of approximately 1.20 per unit is adequate. As currently proposed the parking ratio for the proposed development is 1.2 spaces per unit.

Traffic Circulation

There are two access points to the development, one from Hawk Ridge Circle and a second on Fryemuth Lane. There are proposed drive aisles that will serve as access to each of the individual building. The drive aisle is fully accessible for emergency vehicles and trash trucks. Five-foot-wide sidewalks will also be provided throughout the development to connect the residential buildings to the clubhouse.

Environmental and Conservation

This site will have a lake in the southwest corner of the site that will be used for recreational purposes and for detention to ensure runoff from the site is equal to or less than the existing conditions. Site has been designed to save as many trees as possible which will help to alleviate runoff to adjacent properties.

Requested Variances

Parking: Required Spaces – 1 space per 4 dwellings ($120 \text{ units}/4 = 30$)
plus 1 guest space per 10 units ($120/10 = 12$) Total 42 spaces required

Provided Spaces – 144 Spaces or 1.2 spaces per unit



July 27, 2020

Mr. Daniel Barnard
LSL Land Development Company, LLC
2205 Kimberly Road
Bettendorf, IA 52722

SUBJECT: LSL Land Development Company, LLC
Hawk Ridge Senior Living - Parking Evaluations
Lake St. Louis, Missouri

Dear Mr. Barnard:

As requested, GBA personnel have completed the traffic engineering services necessary to perform an evaluation of the proposed parking conditions for the Hawk Ridge Senior Living Development, located at 48 Hawk Ridge Circle in Lake St. Louis, Missouri. Our completed parking evaluation focused primarily on the proposed number of parking spaces for the development as it relates to the current City of Lake St. Louis Zoning Regulations, Section 430.170 (Off-Street Parking Requirements). This evaluation will review the following items:

1. Section 430.170, Subsections C.1. and C.2., of the City of Lake St. Louis Zoning Regulations;
2. An alternate parking supply calculation based on the nationally-accepted parking generation data provided in the latest edition (i.e., 5th Ed.) of the ITE "*Parking Generation Manual*"; and
3. A review of site-specific parking data related to four (4) similar senior living developments, all associated with this developer, that are operated within the greater St. Louis Metropolitan area.

The information provided within this study will demonstrate clear and convincing evidence that the expected vehicle usage and parking space demand for the proposed development will require more than one hundred fifty percent (150%) of the minimum number of required spaces as specified within Section 430.170, Subsection A.2.

PROJECT BACKGROUND

Through our preliminary coordination with LSL Land Development Company, LLC regarding the proposed development characteristics and parking supply, we reviewed the proposed development site plans provided to GBA to evaluate the overall parking situation. The proposed development is an age restricted Senior Living Community that consists of five (5) multi-family buildings and a community center. The multi-family buildings are proposed as three (3) story buildings with 24 dwelling units in each, and the community center is proposed to provide just over two thousand square feet of floor space. The proposed site plan currently provides a total of 144 parking spaces. Twelve (12) of these spaces will be designated for handicap parking, three (3) of which are labeled for "Van Lift Only" per Missouri State Statutes. This equates to an overall parking generation rate of 1.10 parking spaces per dwelling unit, plus one (1) guest space per every ten (10) dwelling units.

REVIEW OF CITY OF LAKE ST. LOUIS ZONING REGULATIONS AND PROJECT APPLICABILITY

GBA verified the preliminary parking regulations as supplied via email, through the online City of Lake St. Louis Zoning Regulations provided on the ecode360.com website (<https://ecode360.com/28422863>). The City of Lake St. Louis staff directed the project team to utilize the minimum parking supply regulation as specified per Section 430.170, Subsection C.2. for housing of elderly and disabled residents. This

regulation requires 1 parking space to be provided per four (4) dwelling units (0.25 spaces per dwelling unit – 30 spaces), plus one (1) guest space per every ten (10) dwelling units (12 spaces). With 120 proposed dwelling units, this equates to a minimum of 42 parking spaces provided. The combination of general parking spaces and guest spaces equates to a combined parking generation rate of 0.35 spaces per dwelling unit.

One key item to note is that Subsection C.2. considers housing “occupied exclusively by the elderly (over sixty (60) years of age) or by the severely disabled.” Information in the following sections of this study will show that the prescribed parking supply rate is more in line with senior living facilities that provide centralized services and have a lower independence level experienced by the residents. Because the proposed development does not provide centralized dining or medical services and is not specifically intended to house the severely disabled, the parking requirements for Subsection C.1. – General residential occupancy are also documented herein for comparative purposes. The parking regulations for general residential multi-family developments stipulate two (2) parking spaces per dwelling unit. Therefore, the minimum number of required parking spaces for the proposed Hawk Ridge Senior Living development ranges from 42 to 240 spaces, based on the requirements for these two distinct residential categories.

A compelling argument can be made that an age restricted community catering to seniors will still have many residents that are employed, independent and who own personal vehicles for their primary mode of transportation. The National Association of Home Builders (NAHB) documents seven varying categories of housing intended exclusively for seniors. Those categories include:

1. **Active Adult Communities:** Single-family homes, townhomes, cluster homes, manufactured housing and multifamily housing – age restricted to seniors as allowed under exemptions granted in the Fair Housing Law – where residents lead an independent, active lifestyle. These communities are not equipped to provide increased care or health-related services, but often include amenities such as a clubhouse, a golf course, walking trails and other recreational spaces.
2. **Lifestyle Communities:** Single family homes, townhomes, cluster homes, manufactured housing and multifamily housing – that are considered likely to appeal primarily to adults, but not explicitly age-restricted – where residents lead an independent, active lifestyle. These communities are not equipped to provide increased care or health-related services, but often include amenities such as a clubhouse, a golf course, walking trails, and other recreational spaces.
3. **Seniors Apartments:** Multifamily rental housing restricted to adults 55 years of age or older. These properties do not have a central kitchen and generally do not provide meals to residents, but may offer community rooms, social activities and other recreational amenities.
4. **Independent Living Communities:** Age-restricted, multifamily rental housing with central dining facilities that provide residents, as part of a monthly fee, meals and other services such as housekeeping, linen service, transportation, and social and recreational activities.
5. **Assisted Living Residences:** State-licensed and regulated rental housing that provides the same services as an independent living community, plus assistance with activities of daily living — such as bathing, dressing, toileting, moving from place to place, and managing medication — from trained employees. Many of these facilities include wings or floors dedicated to residents with Alzheimer’s or other forms of dementia. Some assisted living facilities provide skilled nursing care, but not for a majority of the residents.

6. **Skilled Nursing Facilities:** Intended primarily for residents who require 24-hour nursing or medical care. Skilled nursing facilities are subject to state licensing and regulations and, in most cases, are licensed for Medicaid and Medicare reimbursement as well. They may include some units that provide only the services of an assisted living facility, but these units are not for a majority of the residents.

7. **Continuing Care Retirement Communities (or CCRCs):** Age-restricted properties that offer a combination of independent living, assisted living, and skilled nursing services to residents all on one campus. Payment plans vary, but usually include a long-term contract between the resident and the community.

As noted in the information above, there is a wide array of age-restricted community types that also lead to a wide variety of transportation needs and parking requirements. The proposed Hawk Ridge Senior Living development is more in line with the housing categories listed in items 1-3 above, where residents live an active and independent lifestyle and the community does not provide dining or health services. However, the potential exists for residents that choose not to own personal vehicles and instead rely on outside sources for their transportation needs. Therefore, it is entirely feasible that the parking demand for the proposed development falls somewhere between the City’s two residential categories with parking supply rates of 0.25 spaces per dwelling unit and 2.0 spaces per dwelling unit. The “average rate” for the City’s two residential categories is 1.125 spaces per dwelling unit, which would equate to 135 spaces, plus six (6) additional guest spaces.

The parking analysis for the City’s current regulations are presented in the “Parking Requirements Summary” below in **Table 1**. This table summarizes the application of the current zoning / parking codes for both Subsections C.2. and C.1.

Table 1: Parking Requirements Summary

Zoning Regulation	Min. Parking Space (PS) Supply Rate	Parking Spaces for 120 Dwelling Units (DU)	Additional Guest Parking Space Rate	Min. Guest Spaces	Min. Parking Supply Spaces Required
430.170.C.2. – Elderly/Disabled	1 PS/4 DU	30	1 PS/10 DU	12	42
430.170.C.1. – General Multifamily	2 PS/DU	240	N/A	0	240
Blended Rate for City Categories	1.125 PS/DU	135	1 PS/ 20 DU	6	141

ALTERNATE PARKING SUPPLY GENERATION REVIEW

GBA’s traffic engineers also completed an alternate parking supply generation review for the proposed Hawk Ridge Senior Living development. The review included researching information provided in the latest edition (i.e., 5th Ed.) of the ITE “*Parking Generation Manual*.” The manual has four separate land use categories related specifically to age-restricted housing. Those categories include, Senior Adult

Housing – Attached (Land Use 252), Congregate Care Facility (Land Use 253), Assisted Living (Land Use 254), and Continuing Care Retirement Community (Land Use 255).

The description for Senior Adult Housing – Attached (Land Use 252) reads: “Senior adult housing consists of attached independent-living developments, including retirement communities, age-restricted housing, and active adult communities. This type of housing for active senior adults can take the form of bungalows, townhouses, and apartments. These developments may include limited social or recreational services. They generally lack centralized dining and on-site medical facilities. Residents in these communities live independently, are typically active (requiring little to no medical supervision) and may or may not be retired.” The ITE manual goes on to state that “It would be expected that a development with an age restriction of 55 would include more households with an employed resident than would a development with an age restriction of 65.”

Based on three (3) studies completed in the 2000s, the average peak period parking demand per occupied dwelling unit was 0.61, while the parking supply ratio for the three study sites in a general urban/suburban setting was 0.90 spaces per dwelling unit. The ITE manual states that this threshold data is not intended to recommend a policy about the level of parking that should be supplied. Rather, it is intended to provide only a qualitative point of reference.

The description for Congregate Care Facility (Land Use 253) reads: “A congregate care facility is an independent living development that provides centralized amenities such as dining, housekeeping, communal transportation, and organized social/recreational activities. Each individual dwelling unit often has a kitchenette, rather than a full kitchen. Limited medical services (such as nursing and dental) may or may not be provided. The resident may contract additional medical services or personal assistance.” Under additional data, the manual states “Resident vehicle ownership is typically low at a congregate care facility. Site employees, persons providing services to the residents, and visitors generate the majority of the parked vehicles at the site.” The average parking generation associated with Land Use 253 is 0.30 parking spaces per occupied dwelling units, while the average parking supply ratio for the six study sites was 0.50 spaces per dwelling unit.

The description for Assisted Living Facility (Land Use 254) reads: “An assisted living complex is a residential setting that provides either routine general protective oversight or assistance with activities necessary for independent living to mentally or physically limited persons. It commonly has separate living quarters for residents. Its centralized services typically include dining, housekeeping, social and physical activities, medication administration, and communal transportation.

Alzheimer’s and ALS care are commonly offered by these facilities, though the living quarters for these patients may be located separately from the other residents. Assisted care commonly bridges the gap between independent living and nursing homes. In some areas of the country, assisted living residences may be called personal care, residential care, or domiciliary care. Staff may be available at an assisted care facility 24 hours a day, but skilled medical care—which is limited in nature—is not required.” The average parking generation associated with Land Use 254 is 0.40 parking spaces per occupied dwelling units based on 30 individual studies. No documentation of average parking supply associated with these sites was documented.

The description for Continuing Care Retirement Community (Land Use 255) reads: “A continuing care retirement community (CCRC) is a land use that provides multiple elements of senior adult living. A CCRC enables a resident to transition in place from independent living to increased care as the medical needs of the resident change. Housing options may include various combinations of senior adult housing (detached or attached), congregate care, assisted living, and nursing home. The communities may also contain centralized services such as medical, dining, recreational, communal transportation, and some limited, supporting retail facilities. CCRCs are usually self-contained villages. The average parking

generation associated with Land Use 255 is 1.09 parking spaces per occupied dwelling units, while the average parking supply ratio for the three study sites was 1.30 spaces per dwelling unit.

Based on the information provided within the *ITE Parking Generation Manual Senior Adult Housing-Attached* (Land Use 252) most closely represents the proposed Hawk Ridge Senior Living development. Based on the results documented within the manual, a development with 120 dwelling units would generate a peak hour demand of 74 parking spaces and the parking supply based on the average rate would result in 108 parking spaces. A proposed development with parking spaces provided based on the average parking supply rate, as documented within the manual, represents a parking supply value in excess of 250% of the required minimum number of parking spaces ($108/42 = 257\%$).

The next section of the memo will review information pertaining to data available for similar developments within the St. Louis Region.

REGIONAL PARKING SUPPLY/DEMAND RATES FOR SIMILAR DEVELOPMENTS

The project developer operates four (4) existing senior living apartment communities within the greater St. Louis Metro area. GBA reviewed the developer provided information regarding the numbers of dwelling units, numbers of residents, numbers of registered vehicles and actual provided parking supplies. The available information provides concrete data of the typical rate of vehicle ownership and parking demand generation within these four, existing age restricted senior living facilities, and provides the basis for the currently proposed parking supply at the Hawk Ridge Senior Living development.

The following list provides details related to the four existing communities used for this review:

Community 1: Green Gables Senior Living
 (96 Dwelling Units)
 200 Green Gables Circle
 Wentzville, MO 63385

Community 2: West Clay Senior Living
 (96 Dwelling Units)
 2800 West Clay Valley Drive
 St. Charles, MO 63301

Community 3: Queensbrooke Senior Living
 (48 Dwelling Units)
 411 Elizabeth Drive
 St. Peters, MO 63376

Community 4: Avonlea Senior Living
 (48 Dwelling Units)
 531 Avonlea Court
 Eureka, MO 63025

Our analysis of the provided data is presented on the following page in **Table 2**, “Existing Data Summary.” This table summarizes the pertinent data and develops parking supply and demand rates for these local examples that are similar in nature to this type of proposed senior living apartment development. The number of parking spaces provided (and the subsequent calculated parking supply rate) represent the combined rate of general parking spaces and additional guest spaces, as required by individual municipality zoning regulations. The parking demand rate is based solely on the data provided related to registered resident vehicles and does not account for any additional parking demand related to guests.

Table 2: Existing Data Summary

Development	# of Dwelling Units	# of Residents	# of Registered Vehicles	# of Spaces Provided	Parking Supply Rate	Parking Demand Rate
Green Gables Senior Living (Wentzville, MO)	96	110	90	118	1.23	0.94
West Clay Senior Living (St. Charles, MO)	96	107	85	143	1.49	0.89
Queensbrooke Senior Living (St. Peters, MO)	48	50	41	107	2.23	0.85
Avonlea Senior Living (Eureka, MO)	48	51	39	113	2.35	0.81
Average Rate					1.83	0.87

As shown in **Table 2**, there is a wide range of parking supply rates associated with these four existing communities based on the zoning regulations of the municipalities in which they are located. The average parking supply rate of 1.83 is over five (5) times greater than the average combined rate of 0.35 specified by the City of Lake St. Louis requirements per Section 430.170, Subsection C.2 for housing of elderly and disabled residents. The average parking supply rate of 1.83 is also approximately two (2) times greater than the average urban/suburban rate of 0.90 spaces per dwelling unit listed within the ITE documentation. The average parking demand generation rate for the four developments of 0.87 vehicles per dwelling unit is approximately 1.5 times greater than the average rate of 0.61 provided within the ITE manual.

These calculated parking supply and parking demand generation rates based upon the existing information were then applied to the 120-unit capacity of the proposed Hawk Ridge Senior Living development to develop a range for the proposed parking supply and anticipated parking generation. **Table 3** below provides these results for the calculated parking data.

Table 3: Parking Supply and Generation Summary

	Dwelling Units	Proposed Parking Spaces	Calculated Parking Supply			Anticipated Parking Generation		
			Low	High	Average	Low	High	Average
Hawk Ridge Senior Living	120	144	148	282	220	98	113	105

The information provided within **Tables 2 and 3** above show that the parking supply rates for the similar senior living apartment developments tend to provide an excess amount of parking when comparing supply versus demand. A comparison of the lowest calculated supply rate (1.23 ps/du) with the highest anticipated generation rate (0.94 veh/du) would evaluate a worst-case scenario. The results of this comparison would indicate an acceptable result, with additional parking still available for guests. This information provides justification for the use of a combined parking supply rate of 1.20 parking spaces per dwelling unit for the proposed Hawk Ridge Senior Living development.

CONCLUSIONS & RECOMMENDATIONS

Through the completion of this independent parking supply/ generation evaluation, we believe that an appropriate rate has been used to calculate the proposed parking supply provided within the site plan for the Hawk Ridge Senior Living development. Our independent evaluation has been based on the current City of Lake St. Louis zoning requirements, nationally-accepted parking generation data available from ITE, and site-specific parking data related to local senior living apartment developments of a similar nature within the St. Louis metro area. Further, we trust that this parking supply / generation study has provided an acceptable alternative method of calculations for the City planning staff to determine that the anticipated parking generation on the site is expected to be considerably more than that required by their current zoning / parking codes and also conclude that the proposed parking supply will be adequate.

As shown in the provided documentation and calculations, the Hawk Ridge Senior Living development will be anticipated to generate an estimated parking demand of approximately 110 spaces. This provides clear and convincing evidence for a parking supply that exceeds the one hundred fifty percent (150%) threshold of the minimum number of spaces (42 spaces) as required by Section 430.170, Subsection C.2. of the City Zoning Regulations. It further suggests that a blended parking supply rate combining the City's current zoning regulations is more applicable to a proposed development of this nature. The proposed 144 parking spaces for the Hawk Ridge Senior Living development would be very consistent with the minimum parking supply associated with a blended rate, which would require a minimum of 141 spaces.

We appreciate the opportunity to be of service to you, the Hawk Ridge Senior Living project development team, and the City of Lake St. Louis on this very important project. If you should have any questions or need additional information, please do not hesitate to contact us. In addition, we will be available to you for any further discussions that should be necessary with the City of Lake St. Louis planning staff regarding this proposed project.

Respectfully submitted,

GEORGE BUTLER ASSOCIATES, INC.



J. Kyle Evans, P.E., PTOE
Associate / Project Manager

cc: DJM, file

20-18075

HAWK RIDGE SENIOR LIVING

INSTITUTE OF TRANSPORTATION ENGINEERS
COMMON TRIP GENERATION RATES (PM Peak Hour)

(Trip Generation Manual, 10th Edition)

Code	Description	Unit of Measure	Trips Per Unit	Setting/Location	
				General Urban/ Suburban	Dense Multi- Use Urban
PORT AND TERMINAL					
30	Intermodal Truck Terminal	1,000 SF GFA	1.72		
90	Park-and-Ride Lot with Bus Service	Parking Spaces	0.43		
INDUSTRIAL					
110	General Light Industrial	1,000 SF GFA	0.63		
130	Industrial Park	1,000 SF GFA	0.40		
140	Manufacturing	1,000 SF GFA	0.57		
150	Warehousing	1,000 SF GFA	0.19		
151	Mini Warehouse	1,000 SF GFA	0.17		
154	High-Cube Transload & Short-Term Storage Warehouse	1,000 SF GFA	0.10		
155	High-Cube Fulfillment Center Warehouse	1,000 SF GFA	1.37		
156	High-Cube Parcel Hub Warehouse	1,000 SF GFA	0.64		
157	High-Cube Cold Storage Warehouse	1,000 SF GFA	0.12		
180	Data Center	1,000 SF GFA	0.09		
170	Utilities	1,000 SF GFA	2.27		
180	Specialty Trade Contractor	1,000 SF GFA	1.97		
RESIDENTIAL					
210	Single-Family Detached Housing	Dwelling Units	0.99		
220	Multifamily Housing (Low-Rise)	Dwelling Units	0.56		
221	Multifamily Housing (Mid-Rise)	Dwelling Units	→	0.44	0.18
222	Multifamily Housing (High-Rise)	Dwelling Units	→	0.36	0.19
231	Mid-Rise Residential with 1st-Floor Commercial	Dwelling Units	0.36		
232	High-Rise Residential with 1st-Floor Commercial	Dwelling Units	0.21		
240	Mobile Home Park	Dwelling Units	0.46		
251	Senior Adult Housing - Detached	Dwelling Units	0.30		
252	Senior Adult Housing - Attached	Dwelling Units	0.26		
253	Congregate Care Facility	Dwelling Units	0.18		
254	Assisted Living	1,000 SF GFA	0.48		
255	Continuing Care Retirement Community	Units	0.16		
259	Recreation Homes	Dwelling Units	0.28		
265	Timeshare	Dwelling Units	0.63		
270	Residential Planned Unit Development	Dwelling Units	0.69		
LODGING					
310	Hotel	Rooms	0.60		
311	All Suites Hotel	Rooms	→	0.36	0.17
312	Business Hotel	Rooms	0.32		
320	Motel	Rooms	0.38		
330	Resort Hotel	Rooms	0.41		
RECREATIONAL					
411	Public Park	Acres	0.11		
416	Campground / Recreation Vehicle Park	Acres	0.98		
420	Mans	Berths	0.21		
430	Golf Course	Acres	0.28		
431	Miniature Golf Course	Holes	0.33		

Code	Description	Unit of Measure	Trips Per Unit	Setting/Location	
				General Urban/ Suburban	Dense Multi- Use Urban
432	Golf Driving Range	Tees/Driving Positions	1.25		
433	Bating Cages	Cages	2.22		
434	Rock Climbing Gym	1,000 SF GFA	1.64		
435	Multi-Purpose Recreational Facility	1,000 SF GFA	3.58		
436	Trampoline Park	1,000 SF GFA	1.50		
437	Bowling Alley	1,000 SF GFA	1.18		
440	Adult Cabaret	1,000 SF GFA	2.93		
444	Movie Theater	1,000 SF GFA	6.17		
445	Multiplex Movie Theater	1,000 SF GFA	4.81		
452	Horse Racetrack	Seats	0.06		
454	Dog Racetrack	Attendees	0.15		
460	Arena	1,000 SF GFA	0.47		
462	Professional Baseball Stadium	Attendees	0.15		
465	Ice Skating Rink	1,000 SF GFA	1.33		
466	Snow Ski Area	Slopes	26.00		
473	Casino/Video Lottery Establishment	1,000 SF GFA	13.49		
480	Amusement Park	Acres	3.95		
482	Water Slide Park	Parking Spaces	0.28		
488	Soccer Complex	Fields	16.43		
490	Tennis Courts	Courts	4.21		
481	Racquet/Tennis Club	Courts	3.82		
492	Health/Fitness Club	1,000 SF GFA	3.45		
493	Athletic Club	1,000 SF GFA	6.29		
495	Recreational Community Center	1,000 SF GFA	2.31		
INSTITUTIONAL					
520	Elementary School	1,000 SF GFA	1.37		
522	Middle School / Junior High School	1,000 SF GFA	1.19		
530	High School	1,000 SF GFA	0.97		
534	Private School (K-8)	Students	0.26		
536	Private School (K-12)	Students	0.17		
537	Charter Elementary School	Students	0.14		
538	School District Office	1,000 SF GFA	2.04		
540	Junior / Community College	1,000 SF GFA	1.86		
550	University/College	1,000 SF GFA	1.17		
560	Church	1,000 SF GFA	0.49		
561	Synagogue	1,000 SF GFA	2.92		
562	Mosque	1,000 SF GFA	4.22		
565	Daycare Center	1,000 SF GFA	11.12		
566	Cemetery	Acres	0.46		
571	Prison	1,000 SF GFA	2.91		
575	Fire and Rescue Station	1,000 SF GFA	0.48		
580	Museum	1,000 SF GFA	0.18		
590	Library	1,000 SF GFA	8.16		

PROPOSED 120 UNITS x 0.26 = 31 TRIPS